

TOWN OF SILT
PLANNING AND ZONING COMMISSION AGENDA
Tuesday, August 6, 2024 6:30 P.M.
MUNICIPAL COUNCIL CHAMBERS
HYBRID MEETING

| ESTIMATED TIME | ELECTRONIC AGENDA ITEM | PUBLIC HEARING/ ACTION | ELECTRONIC LOCATION AND PRESENTOR |
|------------------------|---|---------------------------------------|--|
| | Agenda | | Tab A |
| 6:30 5 min | Call to Order | | Chair Williams |
| | Roll Call | | |
| | Pledge of Allegiance | | |
| 6:35 5 min | Public Comments - Each speaker will limit comments to no more than three (3) minutes, with a total time of 30 minutes allotted to public comments, pursuant to Section 2.28.020 of the Silt Municipal Code | | |
| 6:40 5 min | Consent agenda – 1. Minutes of the July 10 2024 Planning & Zoning Commission meeting | Action Item | Tab B Chair Williams |
| | Conflicts of Interest | | |
| | Agenda Changes | | |
| 6:45 15 min | Tim Pace- Special Use Permit | Public Hearing Action Item | Director Centeno |
| 7:00 25 min | Silt Jumbo Storage- Site Plan Review Amendment | Public Hearing Action Item | Director Centeno |
| 7:25 25 min | River Trace – Site Plan Review Amendment | Public Hearing Action Item | Director Centeno |
| 7:50 10 min | Planners Report | Update | Director Centeno |
| 8:00 5 min | Commissioner Comments | | |
| 8:05 | Adjournment | | |

The next regularly scheduled meeting of the Silt Planning & Zoning Commission is tentatively set for Tuesday, September 3, 2024, at 6:30 p.m. Items on the agenda are approximate and intended as a guide for the Planning and Zoning Commission. "Estimated Time" is subject to change, as is the order of the agenda. For deadlines and information required to schedule an item on the agenda, please contact the Town of Silt at 876-2353. Please be aware that this agenda is given to the public and to the Commission in electronic form. If you require a hard-copy, please request one before or after the scheduled meeting. Normal Town copying charges may apply. Thank you.

TOWN OF SILT
REGULAR PLANNING AND ZONING COMMISSION MEETING
July 10, 2024 – 6:30 P.M.
HYBRID MEETING

The Silt Planning and Zoning Commission held their regularly scheduled meeting on Wednesday, July 10, 2024. The meeting was called to order at 6:30PM.

| | | |
|------------------|---------|--|
| Roll call | Present | Chair Lindsey Williams Vice Chair Michael Bertaux Commissioner Eddie Aragon Commissioner Jennifer Stepisnik Alternate Dana Wood Alternate Justin Anderson |
| | Absent | Commissioner Vanessa Westmoreland |

Also present were Community Development Director, Nicole Centeno.

Pledge of Allegiance

Public Comment

There was no public comment

. Consent Agenda

1. Minutes of the June 4, 2024 Planning & Zoning Commission meeting.

Commissioner Stepisnik made a motion to approve the meeting minutes on the consent agenda, seconded by Commissioner Bertaux. The motion to approve the consent agenda carried unanimously.

Conflicts of Interest

There were no conflicts of interest noted.

Agenda Changes

There were no proposed changes to the agenda.

Silt Jumbo Storage

Director Centeno then introduced the Silt Jumbo Storage Site Plan Amendment and explained that the applicant needing to amend their previous approval, as they reconfigured their proposal during the timeframe in which they were adding fire barriers to comply with Silt's adopted building codes. The applicant was not available to attend the meeting, nor had the Town received all necessary documents, so staff requested a continuance to the either August 6th or September 3rd.

Public comment was opened at 6:38pm.

Tammy Gabriel, stated that she lives at 233 Dogwood, for the past 40 years. She voiced concern for the wildlife, including bird and deer. She was worried that within a few days of construction taking place, there was already a dead deer at the entrance of the property, off of Highway 6. Tammy also wanted to confirm that their lights were not going to impede on the residential development to the east. She then inquired as to whether or not the applicant was still working and Director Centeno stated that the applicant was permitted to install the waterline only.

Public comment closed at 6:42pm.

Commissioner Aragon asked if they were going to put in adequate storm water fencing, to help with erosion control. Director Centeno stated that they have been working with CDOT and that no additional work was going to take place until they were compliant with the Town and State.

Commissioner Aragon ask if the applicant could add the drainage fence prior to them coming back in front of the Planning and Zoning Commission, since they might not come back for either a month or two. Vice Chair Bertaux and if they could water the side of the hill to help with dust and erosion control. Director Centeno stated that she would work on these efforts.

Commissioner Aragon made a motion to continue the Public Hearing to the August 6th or September 3rd agenda, stating that he wanted to see them add the erosion control to the plans.

Seconded by Vice Chair Bertaux and the continuation passed unanimously.

1466 Stoney Ridge Drive

Director Centeno then introduced the fence exception at 1466 Stoney Ridge Drive. She explained the location of the home as being on the northeast corner of the roundabout, on the east side of Stoney Ridge. She stated that the elevation changes, not allowing for the applicant to have any privacy in their back yard.

The applicant has proposed to have a tiered fence that is on the south side of the property. It would go 16 feet at 6 foot high, then 16 feet at 5 foot high and then would have a final tier down at 16 linear being 4 foot high. The fence would not continue, connecting onto the house, but would rather, help to make a barrier between their house and the roundabout.

The proposed fence will be on the home owner's property and would help to keep their families' activities their yard and not possibly in the road.

Commissioner Aragon asked if they were going to connect onto the neighbors 6-foot fence, then tier down from there, to negate the elevation changes looking inconsistent. The applicant stated

that they were connecting to the neighbors existing fences and wanted to tier their fence because they are trying to preserve their view.

The applicant also stated that they were going to match the bottom of their neighbors' fences, but that they also wanted their fence to incorporate railing and hog paneling to the top of the fence. The applicant said that they have been there 8 years and last summer the kids kept kicking soccer balls into the road. She said they needed to think about safety for their kids and the cars.

Public comment was opened up at 6:49pm.

There were no public comments.

Public comment closed at 6:50 pm.

Commissioner Aragon made a motion to approve the fence exception at 1466 Stoney Ridge Dr, also accepting the Resolution PZ-7 2024, with the following conditions of approval:

- 1) That the proposed fence meets all applicable criteria in the Silt Municipal Code Chapter 15.24, excluding the height exception approval.
- 2) That the proposed fence be located entirely on the applicant's property; but not installed in designated/recorded easements.
- 3) That the fence exception is limited to the exact request as depicted in the applicant's submitted photograph/site plan.
- 4) That all representations of the applicant made in writing, application materials and verbally at the Planning Commission or Trustee meetings or that are reflected in the meeting minutes are considered to be part of the application and are binding on the applicant.
- 5) That applicant will provide any additional requested documents and pay any remaining fees, prior to installation and inspection of the approved fence.
- 6) That this approval is not for construction, but rather the exception of the height and location. Community Development will need to issue a permit before the installation of fence can occur.
- 7) That all future fencing proposals will require a permit and fence exception, if required.

Seconded by Commissioner Wood and passed unanimously.

765 Antler Point

Director Centeno then introduced 765 Antler Point Lane Amended Plat and Building Envelope.

She explained that Jack and Victoria Ehlers, live up in Mesa View and their building envelopes are unique and unlike anything else in Silt. The building envelopes are outside of the standard setback requirements for an R-1 Zone District.

The original plat was recorded in the 1990's, but Director Centeno explained that the Town doesn't have information as to why they have individual building envelopes, with an overlying zone district.

Centeno said that the applicant would like to potentially add a carport, a green house and extend their deck, which they could do without the additionally restrictive building envelope.

Director Centeno then pointed out that they have already adjusted their lot line, once in the past, to give their neighbor a small portion of property, enabling their neighbor to have more room in their back yard.

The comprehensive plan would support them doing this, as it doesn't change their residential zone district. In a R-1 zone district, the setbacks would be 20 feet in the front and rear yard and 5 feet on both sides.

The code is silent on plat amendments or building envelope adjustments, so we are treating this as close as we can to a Final Plat, which will require approvals from both the P&Z and BOT.

Vice Chair Bertaux asked if they were in a HOA and if so, if that HOA had any additional information on the envelopes or if they were in support of this. Director Centeno clarified that they were in an HOA and that she did not speak to the HOA, but that Mr. Ehlers stated that he had.

Mr. Ehlers and Commissioner Aragon gave additional feedback that the HOA had no further information and Commissioner Aragon said he was part of the HOA and there was not an issue with this envelope adjustment. Manager Centeno and Commissioner Aragon agreed that there would be a signature block on the Amended Plat for the HOA.

Manager Centeno did have a conversation with the Town Attorney and asked if the whole plat could be amended, Commissioner Aragon stated that he would be in support of that.

Commissioner Wood asked the Ehlers if they had talked to any other land owners to see if this is something that they wanted to do as well. The Ehlers stated that they were probably on the forefront of this. Jack Ehlers stated that he deals with building envelopes daily and was glad to do this and possibly help out his neighbors.

Director Centeno stated that Mesa View is completely built out, with the exception of one parcel, but that this adjustment would help to improve the quality of life for the home owners.

Public comment was opened at 7:05pm.

There were no public comments.

Public comment was closed at 7:06 pm.

Vice Chair Bertaux made a motion to recommend approval of the 765 Antler Point Lane Amended Plat and Building Envelope to the Board of Trustees, with the following conditions of approval:

- 8) That all representations of the applicant made in writing, application materials and verbally at the Planning Commission or Trustee meetings or that are reflected in the meeting minutes are considered to be part of the application and are binding on the applicant.
- 9) That applicant provides any additional requested documents and pay all related fees, prior to the recording of the amended plat.
- 10) That the approval be for the building envelope and plat amendment only, not future proposed improvements.
- 11) That this approval is not for construction. All future improvements will require permitting through the Community Development Department.
- 12) That the applicant understands that the setbacks of 20' in front/ rear yards and 5' on each side will be considered the new building envelope.
- 13) That the applicant acknowledges the 10' easement on the west side to supersede the building setback of 5', not allowing for any improvement to take place within that easement.

Seconded by Commissioner Stepisnik and passed unanimously.

54 County Road 311 Rislende

Director Centeno then introduced the Rislende Site Plan Amendment. She explained that the applicant had already come in front of the planning and zoning commission, back in April, and had received approval.

Since that approval, it has come to the Town's attention that the layout is different from the approval and that there was a Conex/shipping container place on the property, in lieu of the approved shed. The applicant also has two 100-gallon propane tanks on the food truck, that were not mentioned or approved in the Site Plan Review either.

Director Centeno explained that any deviation from a Site Plan approval, is considered to be in default of the approved resolution.

After a meeting with Mr. Weimer and Deputy Clerk Malsbury, the Town's Liquor License Expert, it was discussed that Mr. Weimer could not move the layout back to what it was for the Site Plan approval, without compromising his liquor license. This determination made it clear that the best solution to be an application to amend the Site Plan approval, with a new resolution.

The operating plan has not changed from the original plan, other than the items that had been discussed.

Overall, staff finds that this amended application and proposal align with the comprehensive plan and PUD.

Staff is disappointed that the applicant deviated from their Site Plan, installed a Conex container, after being told no, and didn't pull a permit as it was specified in the last approval and clearly stated in the approved and recorded resolution. There was also the key element, left out of the first review, regarding propane tanks on the food truck.

As far as the shipping container, Town Staff has added Conex/shipping containers to an upcoming P&Z and BOT joint session, for further discussion. In the interim, the applicant is requesting a temporary 90-day permit for the shipping container.

Centeno stated that the Town staff is generally accepting of this, as it will allow both boards to meet and determine if the Town of Silt wants to continue to disallow Conex/shipping containers, or set different perimeters around usage.

Director Centeno said that the Town is committed to helping Silt's businesses succeed, however, it has been made clear to the applicant that this Town functions on "ask for permission", and NOT "doing something, then asking for forgiveness". She explained that the Town's partnerships with businesses need to be established on trust.

Commissioner Anderson asked if the shed was on the original plan. Centeno said that a wooden shed, was, but not a shipping container.

Director Centeno stated that as soon as the applicant finalizes their plat, they will progress to construction of permanent buildings. Commissioner Anderson then stated that he thought that since this was temporary, it would be fine over there and cheaper than a shed. He thought that they could possibly sheath it and give it a look of wood shed, not a shipping container, and they could have a temporary permit to keep it till everyone had a chance to give more feedback on shipping container/Conex boxes. The other commissioners agreed.

Cole Buerger then stated that they got the shipping container back in September of last year, and that Mitchell did come and talk to Nicole about the shipping container, where she explained that it would not be allowed in town. They then went and talked to Mark Chain and Michael Sawyer and asked them for permission to use it. Cole stated that they thought that it was maybe permissible at that point. Cole said that they would do better in communicating with Community Development in the future.

Commissioner Wood thought that they didn't do this on purpose but was excited to have the discussion to talk about shipping containers in a joint meeting. She would be in favor of granting a 90-day temporary permit and then come back to this after further discussion. Chair Williams was in agreement with Commissioner Wood. She also wants to take staffs comments into consideration to make sure that they are doing our part and maintaining a good working relationship and dotting I's and crossing T's.

Commissioner Stepisnink asked if 90 days would get them through this year. Cole then stated that they would still be open to about October 31st, weather permitting.

Chair Willaims asked if a 120-day permit would work better for them to get through this year. Cole stated that it would be better for them. Cole then stated that they didn't say anything about the propane because it was on the food truck and they did discuss that it would be cheaper to have tank there for the food truck.

Director Centeno then stated that the code is very specific to propane and how much can be stored in Town limits. In the original proposal it was talked about that they were going to pull electric for the food truck, with zero mention of propane.

Public comment was opened at 7:22pm.

There were no public comments.

Public comment was closed at 7:24 pm

Commissioner Wood made a motion to approve the Site Plan Amendment, with the following comments:

- 1) That all statements made by the applicant both in the application and in any meetings before the Planning and Zoning Commission be considered conditions of approval, unless modified in any subsequent conditions.
- 2) That the applicant obtains a building permit for all improvements within the property, as required in the Silt Municipal Code (SMC). This includes sheds and most accessory improvements. If the applicant is unclear of the requirements, it's recommended to call Town Hall or research the SMC.
- 3) That the applicant notifies the Town Community Development Department on any proposed changes over time and/or expansion of activities within the property, to ensure compliance with the Site Plan Review approval.
- 4) That the applicant acquires the proper licensing through Garfield County Public Health and the Town of Silt for the operation of the Food Truck.
- 5) That the applicant retains records of the water deliveries, and removal of waste (trash, grey water and grease), so the Town can audit records annually, or as often as needed.
- 6) That the applicant pumps the portable restroom trailer as required and provides pump records to the Town upon request.
- 7) That the applicant complies with all State and Town Liquor Licensing, including but not limited to, the active 2024 Liquor License conditions of approval and the renewal requirements.
- 8) That the applicant provides any additional requested documents and pay any remaining fees, prior to operating business.
- 9) That the applicant submit approval, to the Town, from the Colorado River Fire Rescue and come into compliance with any conditions of approval that set forth, prior to opening for the 2024 Event season.

10) That the Conex/shipping container is not, nor will ever be considered pre-existing, non-conforming, as it was installed without a permit or permission. If approved by the Commissioners, for a specified temporary use timeframe, it will need to be permitted and removed at the expiration of the permit accordingly. Once the timeframe for temporary use is exceeded, the applicant will need to abide by the Town code and policies that are in place at that time.

Seconded by Commissioner Stepisnik and passed unanimously.

Planner update

Director Centeno gave an update on a couple of projects and offered to attach a monthly staff report to the P&Z packets, just to keep everyone apprised to Community Development happenings.

Commissioner Comments

Vice-Chair Bertaux inquired about the 511 N. 5th Street subdivision. Manager Centeno explained that the lot sold and that the new owner has yet to inquire about continuing the project.

Bertaux then asked about Family Dollar's red-tag. Centeno explained a few of the hiccups and was hopeful of them opening soon!

Vice-Chair then asked about Maverick. Manager Centeno said that Maverick bought out Kum & Go. They are re-branding.

Chair Williams asked about the stop work order for Silt Jumbo Storage. Manager Centeno gave a brief update on this project, then read the upcoming agenda to the commissioners and clarified a few more project.

Manager gave a quick update on events as well.

Adjournment

Vice Chair Bertaux made a motion to adjourn the meeting; seconded by Commissioner Aragon. The meeting adjourned at 8:06 PM.

Respectfully submitted,

Approved by the Planning Commission

Nicole Centeno
Community Development Director

Lindsey Williams
Chair

TOWN OF SILT
PLANNING COMMISSION STAFF REPORT
Public Hearing Action Item- Special Use Permit
Tuesday, August 6, 2024 6:30 PM

Project: Rustic Rifle, LLC- Gunsmithing Business
Location: 2013 Pioneer Drive
Applicant: Tim Pace
Owner: Tim Pace
Current Zoning: Residential PUD
Proposed Zoning: No Proposed Change
Present Land Use: Residential
Proposed Land Use: Residential with a Home Occupation

Description of Request

Mr. Pace has applied for a Type 1 Federal Firearm License (FFL), to be considered for Home Occupation, at his residence in Lyons Residential Subdivision.

This Type 1 FFL allows for him to complete gunsmithing work only; he will not be dealing ammunition. The FFL license is regulated by the federal government and Mr. Pace has completed those requirements and passed all background testing and safety measures.

This application is strictly to be allowed to operate this proposed business from 2013 Pioneer Drive.

Operating Plan, Submitted by Mr. Pace:

- **Business hours**
 - *By appointment only. I work a normal fulltime job therefore I will only be able to perform work on the weekend and possibly for an hour in the evenings.*
 - *I will expect that customers call and make an appointment to go over the work desired and drop off their equipment.*
 - *I would then call them when the work is done to schedule a time for them to come pick up their equipment or deliver it to them.*

- *Traffic would be limited to one person showing up at a time and I have plenty of parking in my driveway for that. (20'x50' driveway)*
- **Work performed:**
- *Typical gunsmithing type work such as:*
 - *Gun stock repair, bedding, pillars, accurizing and/or replacement.*
 - *Professional scope mounting involving lapping rings to achieve true alignment.*
 - *Trigger repair or replacement and setting trigger pull to customer's desire.*
 - *Barrel replacement if it is "In Kind"*
 - *Threading muzzles for attachment of muzzle devices.*
 - *Custom Thread protectors.*
 - *Legal transfers and private party transfers. (FFL Background checks will be required and a 3 day wait in accordance with state and federal laws) I don't expect much of this because of wait times being extended for paper filing when a person could easily go to a dealer and have this done in the same day.*
- **Work I will not be performing:**
 - *Anything outside of the scope of the "FFL Type" I hold and in accordance to the laws and regulations based on FFL Type.*
 - *No ammunition sales or manufacturing will be done. There is no money in manufacturing ammunition due to the time invested and a different FFL type would be required.*
- **Safe work environment:**
 - *Customers will be required to keep their equipment cased during transportation to and from my place of business and ensure that it is not loaded.*
 - *All firearms will be kept in a safe lockable storage while in my possession as required and in compliance with ATF regulations.*
 - *Recordkeeping is mandatory by the ATF for the purpose of traceability therefore I will keep records in an "A&D" record book as required.*
 - *Random ATF Inspections. Like the food industry, the ATF does random inspections to ensure I am working within the regulations, keeping proper records and operating in a safe manner.*
 - *I have security cameras and safe lockable storage all within the room I have set up to do work in.*
- **Work area and effects on neighboring homes:**
 - *I have a room in my basement (approximately 12x12) that contains my tools and workstation. All work will be performed in this room therefore sight and sound on neighboring homes will not be affected.*
 - *No outside work or storage is needed.*
 - *No storefront or physical posted signage will be needed or used.*

- *Limited customer base and required appointments enables me to keep traffic to a minimum and parking will not be an issue as I have plenty of off-street parking for business ran in that manor.*
- *Not dealing in ammunition at all, therefore no storage of explosive materials is needed for customer basis.*

The Property

The property is located in the Lyons Residential Subdivision, which is a Planned Unit Development.

Mr. Pace is adjacent to Highway 6 and Pioneer Drive, with property access coming off of Pioneer Drive.



Planned Unit Development

The Lyons Residential Subdivision is a Planned Unit Development (PUD). This means that there is a different overlying zone district and use than what is defined in the Silt Municipal Code (SMC). The whole PUD will be attached at the end of this staff report; however, the below section defers to the R-1 Zone District.

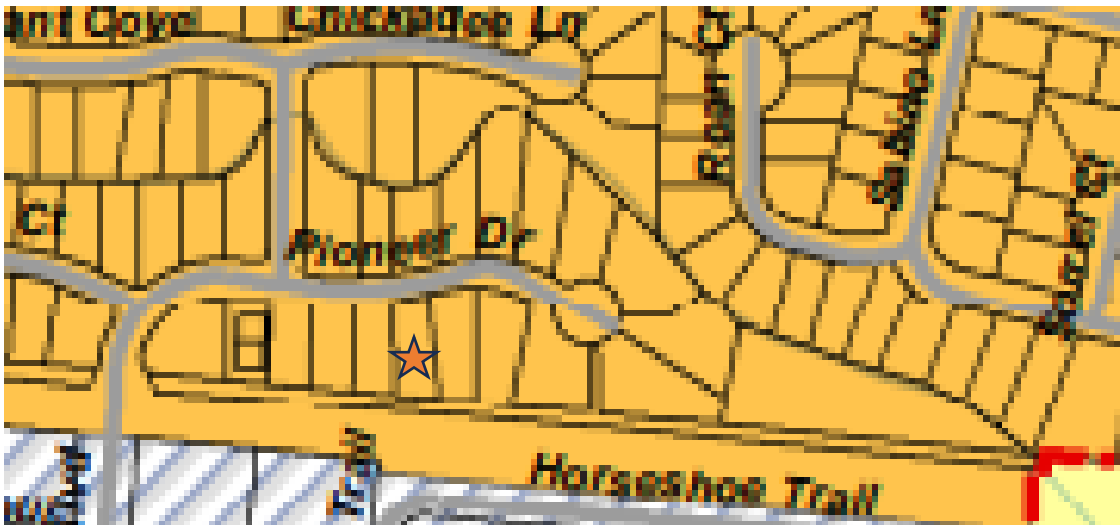
U) ALL REGULATIONS IN TOWN OF SILT R-1 ZONING DISTRICT UNITS SHALL APPLY EXCEPT AS NOTED ABOVE.

Given that the SMC and PUD don't specify gunsmithing as a use by right, a Special Use Permit will be required to allow this business to operate at the proposed location.

Comprehensive Plan

The Comprehensive Plan, as amended in 2017, designates this parcel with a Neighborhood Residential Land Use Designation. Those properties within the Comprehensive Plan Land Use Designation, of Neighborhood Residential, are encouraged to be housing related, with a variety of housing types.

The Comprehensive Plan is silent on "Home Occupations", however, the overall encouragement of business, some of which will be operating from residential locations, would be fitting in our Neighborhood Residential area.



Comprehensive Plan - Future Land Use 2017: Town of Silt, CO



| Land Use Designation | Description/Characteristics | Locational Criteria |
|---|---|--|
| <p>Neighborhood Residential</p> <p>Zone Districts: R-1, R-2, and R-3</p> | <p>Those properties within the Comprehensive Plan Land Use Designation of “Neighborhood Residential” are expected to have medium to high densities of 5 units to 16 units per acre, with clearly designated areas for parks, open space, trails, and community gardens. This area is intended for a variety of housing types, such as single-family dwellings, duplex dwellings and multi-family dwellings (three or more dwellings upon a lot or within a building, whether further subdivided or not), and may include additional dwelling units (ADUs) in order to increase the density and functionality of the community, but not overly tax the infrastructure systems. The “Neighborhood Residential” area currently consists of some older platted areas and some newer re-developed or re-platted areas, but generally has very well platted streets and alleys that aid in dispersing traffic. The Town is supportive of re-development within this Comprehensive Plan Land Use Designation both on a small and large scale. Since this area is clearly within the Town’s core of development, the Town could well benefit from increases in density, because the necessary infrastructure is in place.</p> <p>The Town should work to encourage the building of pedestrian walkways, sidewalks, and/or trails in this area, so that community safety and reduction of vehicles are priorities. Since this area is adjacent to the “Downtown” core, the Town benefits from these residents supporting their own local economy by purchasing goods and services, by living in a live/work building or as pedestrians and bicyclists.</p> <p>The Town should enforce those abusing the Town’s rules and regulations, so that all may live in harmony and in close proximity.</p> <p>The Town should use good planning techniques to intersperse higher densities with lower to medium densities in order to spread out the impacts in a larger area.</p> <p>Since good park area is already in existence in this area, the Town should simply add to and enhance the existing parks and open space for solid community cohesiveness.</p> <p>The Town should carefully consider any marijuana application in this zone district.</p> | <p>Typically located north of downtown Silt which is close to major arterials, bounded by major streets with a direct connection to downtown internally served by a system of collector and local streets, as well as sidewalks and pedestrian/bike paths.</p> |

Reference from the ATF National Firearms Act Handbook

7.2.3 What is the difference between manufacturing and gunsmithing? Performing the work of a gunsmith requires a dealer's license under the GCA, not a manufacturer's license.

111 Nevertheless, a license as an importer or manufacturer also entitles the licensee to conduct business as a gunsmith. The term "dealer" under the GCA includes a gunsmith, that is, "any person engaged in the business of repairing firearms or fitting special barrels, stocks, or trigger mechanisms to firearms." However, gunsmiths occasionally perform the work of a manufacturer and do so without the required manufacturer's license. Indeed, there is no distinction between the activities of a gunsmith and a manufacturer in terms of the physical things done to a firearm.

What distinguishes gunsmithing from manufacturing is the purpose for which the work is done. If a gunsmith performs work on a customer's personal gun for the customer's personal use, the function is lawfully performed pursuant to the gunsmith's license as a dealer under the GCA. However, if the gunsmith performs work on guns as a step in the process of preparing them for subsequent sale, the work is "manufacturing" requiring a manufacturer's license and, if the firearm is an NFA firearm, a special tax stamp under the NFA.

Here are some examples:

- (1) John Doe has a personal firearm and takes it to a gunsmith, a licensed dealer, for modification. The work performed in this instance is the legitimate work of a gunsmith and may be performed pursuant to the gunsmith's dealer's license. The gunsmith need not be licensed as a manufacturer, or hold a special tax stamp in the case of an NFA firearm, to perform the work.*
- (2) Company A is a licensed manufacturer, but contracts with other licensees to perform finishing work on NFA firearms it manufactures. One such contractor is a gunsmith, a licensed dealer. After receiving the finished firearms, Company A offers the firearms for sale. In this instance, the gunsmith, as well as Company A, is engaged in business as an NFA firearms manufacturer and needs a manufacturer's license and special tax stamp to do so.*

Referenced Websites:

[Federal Firearms Regulations Reference Guide - 2014 Edition \(ATF P 5300.4\) \(3512 KB\)](#)

[ATF National Firearms Act Handbook \(ATF P 5320.8\) \(10614 KB\)](#)

<https://www.atf.gov/firearms/state-laws-and-published-ordinances-firearms-34th-edition>

[2015-1 - Manufacturing and Gunsmithing](#)

Staff Findings and Conclusions

Overall, staff finds this application and proposal to meet the requirements needed to qualify and be approved for a Special Use Permit.

There appears to be no negative impacts to adjacent property owners, including traffic flow, as this business will operate by appointment only.

Mr. Pace has safety measures set into place, such as security cameras and locked gun safe/storage, to ensure safe keeping, when guns are not being worked on.

There is no proposal for outdoor storage, signs or ammunition sales, even further eliminating any negative impacts to adjacent property owners of the community.

Given that Mr. Pace took the necessary steps to apply for a Federal Firearms License, passed all background and licensing requirements, as well as acknowledging his requirements with ATF and recordkeeping in his business operating plan, it is clear that he has researched his proposal and is invested in abiding by all Town, State and Federal laws.

Mr. Pace's proposal aligns with gunsmithing, not manufacturing, both of which would have required a Special Use Permit. Mr. Pace stated that gunsmithing is more of his passion and pursued the FFL accordingly.

The Planning and Zoning Commission will be a recommending body to the Board of Trustees.

Planner Recommendation

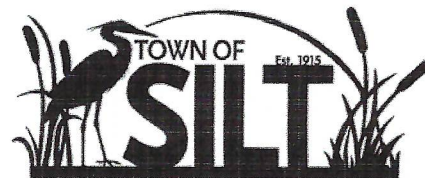
Staff recommends approval of the Special Use Permit, allowing Rustic Rifle, LLC (Tim Pace) to operate a gunsmithing business, at the proposed location with the following conditions:

- 1) That all statements made by the applicant both in the application and in any meetings before the Planning and Zoning Commission be considered conditions of approval, unless modified in any subsequent conditions.
- 2) That the applicant notifies the Town Community Development Department on any proposed changes over time and/or expansion of activities within the property, to ensure that it does not change the Special Use approval.
- 3) That the applicant stays in good standing with all Town, State and Federal (ATF) Licensing / Requirements, including the ability to provide the Town records for an annual audit, if needed.
- 4) That the applicant be available for a Town Representative, including the Police Department, to complete a walk-through of the premise, if or when needed.
- 5) That the applicant re-new their business license by the deadline of January 15th of each new year. This application will need to include a copy of all state and federal licensing.

6) That the applicant provides any additional requested documents and pay any remaining fees, prior to operating business.

7) That this approval is not for construction, but rather approval for the use of the land. Additional licensing and permitting will be required separately, if there are to be any improvements being proposed to the property.

Recommended Motion: I move to recommend approval, to the Board of Trustees, for the operation and Special Use Permit for Rustic Rifle, LLC (Tim Pace), to operate a gunsmithing business at 2013 Pioneer Drive, with the conditions noted above or verbally added during this meeting.



Land Use Application Form

| | | |
|---|--|---|
| <input type="checkbox"/> Amended Plat | <input type="checkbox"/> Boundary Adjustment | <input type="checkbox"/> Subdivision Exemption |
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Sketch Plan | <input type="checkbox"/> Floodplain Development |
| <input type="checkbox"/> Final Plan | <input type="checkbox"/> Planned Unit Development | <input type="checkbox"/> Vacation of Right-of-Way |
| <input type="checkbox"/> Text Amendment | <input type="checkbox"/> Site Plan Review | <input type="checkbox"/> Re-Subdivision Final Plan |
| <input type="checkbox"/> Easement Agreement | <input type="checkbox"/> Zoning or Rezoning | <input type="checkbox"/> Subdivision Improvement Agreement |
| <input type="checkbox"/> Preliminary Plan | <input checked="" type="checkbox"/> Special Use Permit | <input type="checkbox"/> Annexation & Development Agreement |
| <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other: _____ | |

Project Name: Tim Pace

Project Description / Property Information:

Address: 2013 Pioneer dr. Silt CO 81652 Parcel ID Number: _____

Legal Description (attach additional sheets if necessary): _____

Access to Property: _____

Acreage or Square Footage: 2.150 / 2.592 Existing Land Use Designation: _____

Proposed Land Use Designation: _____

Existing Zoning: Residential PDD Proposed Zoning: No Change

Proposed Use / Intensity of Use: Business license for Gunsmithing / minor use by Appt only

Submittal Requirements:

- Initially, a completed application with original signatures and four copies shall be submitted to the department for review. The application shall include four sets of 24" x 36" plans, plats and other appropriate drawings. Application must also be submitted in electronic format (MS Word).
- In addition to this application, all information on the supplemental checklist must be submitted.
- Incomplete applications will not be accepted and will delay processing.
- When the documents are deemed adequate, additional copies as required by the department shall be submitted ten (10) days before the public hearing.
- All documents submitted for public hearing shall be hole-punched, collated and paper-clipped (no staples). All plans, plats or drawings shall be folded to 8 1/2" x 11" and inserted into the collated application. Each individual application shall be banded together and ready for public distribution.

STAFF USE ONLY

| | |
|------------------------------------|------------------------------------|
| Pre-app conference: _____ (date) | Application received: _____ (date) |
| Application complete: _____ (date) | File Number: _____ |
| Fees: _____ | Referrals Sent: _____ (date) |
| Deposits: _____ | PZC approval: _____ (date) |
| Paid: _____ (date) | BOT approval: _____ (date) |

RECEIVED JUN 27 2024

Project Team Information (fill in all that apply) (add additional sheets of needed):

Property Owner(s): Name: Tim Pace Phone: 970 319 0283

Company: Rustic Rifle LLC Fax: _____

Address: 2013 Pioneer dr. Silt CO 81652

Authorized Rep.: Name: _____ Phone: _____

Company: _____ Fax: _____

Address: _____

Engineer/Designer: Name: _____ Phone: _____

Company: _____ Fax: _____

Address: _____

Billable Party: Owner X Representative _____ Engineer _____

The Billable Party, by signing below, hereby agrees to reimburse the Town the actual costs to the Town plus 15% administrative fees for all engineering, surveying and legal services rendered in connection with the review of the Application. The Billable Party shall also reimburse the Town for the cost of making any corrections or additions to the master copy of the official Town map and for any fees for recording any plats and accompanying documents with the County Clerk and Recorder of Garfield County. The Billable Party agrees that interest shall be imposed at a rate of 1.5% per month on all balances not paid within thirty (30) days of the date of the statement. In addition to any and all remedies available to the Town and in the event the Town is forced to pursue collection of any amounts due and unpaid, the Town shall be entitled to collect attorney's fees and costs incurred in said collection efforts in addition to the amount due and unpaid.

Timothy Brooks Pace § _____
Name (printed)

2013 Pioneer dr. Silt CO
Address

970 319 0283
Phone

T-R
Signature

Driver license
Type of Identification

Fax _____ Date 6-27-24 5:20 pm

NICOLE CENTENO
NOTARY PUBLIC - STATE OF COLORADO
Notary ID #20204007103
My Commission Expires 2/19/2028

[Signature] 2-19-28

Disclosure of Property Ownership

- _____ If owner is an individual, indicate name exactly as it appears on the deed.
- _____ If owner is a corporation, partnership, limited partnership or other business entity, name principals on a separate page. Please include articles of organization, partnership agreement, etc., as applicable.
- _____ If owner is a land trust, name beneficiaries on a separate page.
- _____ If applicant is a lessee, indicate the owner(s) on a separate page.
- _____ If applicant is a contract purchaser, attach a copy of the contract and indicate the owner(s) on a separate page.

Please provide the name(s), mailing address(es), street address(es) and phone number(s) for all owners.

Property Owner Affidavit

I/We, Tim Pace, being first duly sworn, depose and state under penalties of perjury that I am (we are) the owner(s) of the property described herein and which is the subject of the application and proposed hearings; that all answers provided to the questions in this application, and all sketches, data and all other supplementary matter attached hereto and made part of this application are honest and true to the best of my (our) knowledge and belief. I (we) understand that this application must be complete and accurate prior to a hearing being scheduled. I (we) authorize Town staff to visit the site as necessary for proper review of this application.

(If there are special conditions such as guard dogs, locked gates, restricted hours, etc., please give the name and phone number of the person(s) who can provide access to the site)

Tim Pace
Name (printed)

Name (printed)

2013 Pioneer dr Silt CO 81652
Address

Address

970 319 0283
Phone

Phone

T-P
Fax
Signature

Fax
Signature

Type of Identification

County of Garfield

State of Colorado

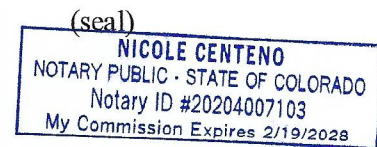
ss.

Sworn to and subscribed before me this 27 day of June, 2024
(fill in day) (fill in month) (fill in year)

By Nicole Centeno
(name printed)

Witness my hand and official seal.
[Signature]
Notary Public

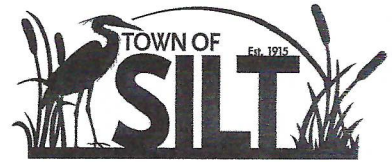
My Commission expires: 2-19-28



RECEIVED JUN 27 2024

Town of Silt Community Development

231 N. 7th Street, Silt Colorado 81652; (970)876-2353 ext. 108



LAND USE ACTIVITY IMPACT STATEMENT

Name of Applicant: Tim Pace Date: 6/27/24

Location of Property: 2013 Pioneer dr. Silt CO 81652

Land Use Request: Operate Small Gunsmithing Business in home

Please answer the following questions to the best of your ability. Attach additional pages as needed.

1. Is your request compatible with the Silt Municipal Code? Yes/No
But by special use permit
2. Is your request compatible with the Silt Comprehensive Plan? Yes/No
home occupation are allowed to better serve the community
If not, how is your request useful to the Town of Silt?
3. Explain how your request is compatible with the immediate area surrounding the site.
No physical changes to home or land needed
so it shouldn't affect any surrounding areas
4. How is your request desirable for the Town of Silt?
- This community could use a good gunsmith in the area. to make repairs to their equipment and improvements
- If I make money - Silt makes money
5. Detail any real or possible environmental, town service, or other impacts your request may have.
Should be no environmental impacts.
Business will be ran by appointment only with minimal hours of operation. This is a hobby that I can make a little money at. Traffic would be minimal

6. Are there or have there ever been any landfills on any part of the property included in your request? Yes No

7. Please mark all the concerns or impacts listed below which apply to your request and give a brief statement about how you have addressed them.

- a. ☒ traffic
- b. ☐ town services (water, sewer, etc.)
- c. ☐ signage
- d. ☐ open space
- e. ☐ schools
- f. ☒ emergency services (police, fire, medical)
- g. ☐ other utilities (electrical, etc.)
- h. ☐ other (pollution, etc.)

Please list any other items or information which you feel would be of help in assessing your application.

- Traffic would be minimal - very small clientel
Service by appt only - plenty of parking in my driveway
one person at a time type operation
- Emergency Service - I can't say that the possibility of theft on my property wouldn't happen -
- Type 1 FFL Limits the scope of work to gunsmithing only. Therefore I would not be dealing in ammunition or other hazardous materials

Rustic Rifle LLC Business Plan

Introduction:

My name is Tim Pace. I am 47 years old. I have lived in the town of Silt my entire life. My profession is in manufacturing Wallboard at American Gypsum company in Gypsum CO. I have been with this company for just over 27 years. I am the General Foreman over the production department. I have an associate degree in Management Engineering Technology. My hobbies include outdoors activities such as hunting, shooting sports, tinkering in gunsmithing, fishing, etc. I am married and a proud father of two grown boys, one 30 and the other 25 years old.

I have tinkered in gunsmithing on my own equipment for over 20 years. My goal has always been to acquire the tools and knowledge to start my own **part time** business doing what I love and provide supplemental income. As you may know, affording a storefront style business is not affordable for a hobby/part time business and especially in this type of business therefore I would like to run the business out of my home. Over 90% of gunsmiths operate out of their home for these same reasons.

Any time you bring the word "GUN" into the equation it intimidates people and I understand that. What I am proposing is a very limited service that will provide people in the community a place to bring their firearms to be repaired or improved. Anyone that is into hunting or shooting sports knows that access to a gunsmith is very limited and hard to find. I am a man of integrity, honesty and intend to operate with the highest standards in safety, quality of craftsmanship and be considerate to my family and neighbors.

Purposed Plans:

- **Business hours**
 - By appointment only. I work a normal fulltime job therefore I will only be able to preform work on the weekend and possibly for an hour in the evenings.
 - I will expect that customers call and make an appointment to go over the work desired and drop off their equipment.
 - I would then call them when the work is done to schedule a time for them to come pick up their equipment or deliver it to them.
 - Traffic would be limited to one person showing up at a time and I have plenty of parking in my driveway for that. (20'x50' driveway)
- **Work performed:**
- Typical gunsmithing type work such as:
 - Gun stock repair, bedding, pillars, accurizing and/or replacement.
 - Professional scope mounting involving lapping rings to achieve true alignment.

- Trigger repair or replacement and setting trigger pull to customers desire.
- Barrel replacement if it is "In Kind"
- Threading muzzles for attachment of muzzle devices.
- Custom Thread protectors.
- Legal transfers and privet party transfers. (FFL Background checks will be required and a 3 day wait in accordance with state and federal laws) I don't expect much of this because of wait times being extended for paper filing when a person could easily go to a dealer and have this done in the same day.
- **Work I will not be performing:**
 - Anything outside of the scope of the "FFL Type" I hold and in accordance to the laws and regulations based on FFL Type.
 - No ammunition sales or manufacturing will be done. There is no money in manufacturing ammunition due to the time invested and a different FFL type would be required.
- **Safe work environment:**
 - Customers will be required to keep their equipment cased during transportation to and from my place of business and ensure that it is not loaded.
 - All firearms will be kept in a safe lockable storage while in my possession as required and in compliance with ATF regulations.
 - Recordkeeping is mandatory by the ATF for the purpose of traceability therefore I will keep records in an "A&D" record book as required.
 - Random ATF Inspections. Like the food industry, the ATF does random inspections to ensure I am working within the regulations, keeping proper records and operating in a safe manor.
 - I have security cameras and safe lockable storage all within the room I have set up to do work in.
- **Work area and effects on neighboring homes:**
 - I have a room in my basement (approximately 12x12) that contains my tools and workstation. All work will be performed in this room therefore sight and sound on neighboring homes will not be affected.
 - No outside work or storage is needed.
 - No storefront or physical posted signage will be needed or used.
 - Limited customer base and required appointments enables me to keep traffic to a minimum and parking will not be an issue as I have plenty of off-street parking for business ran in that manor.
 - Not dealing in ammunition at all, therefore no storage of explosive materials is needed for customer basis.

I have read through the Silt Municipal Code 17.08.110 for operating a business out of your home and based on the scope of work I will be doing I fall within the posted requirements and in answering the home occupation worksheet I see that it should in no way impose increased risk of fire, noise, traffic or unsightly disturbances.

This business should in no way impose on neighboring homes or families. This is simply a hobby/small business providing a service to our community.

I have obtained my state LLC license and EIN.

I applied for the "Federal Firearms License" which included a federal background check and thorough inspection from the federal government and I passed all checks and requirements with flying colors.

This is my final step in being able to start my business.

I ask for your support and thank you for your consideration.

Sincerely,

Tim Pace
Owner/operator
Rustic Rifle LLC



TITLE COMPANY of the rockies

111 E. 3rd Street
Floor 1, Suite 101
Rifle, CO 81650

Phone: 970-625-5426 Fax: 844-269-2759

COMMITMENT TRANSMITTAL

Commitment Ordered By:

Sarah Pace
Property Professionals
704 Main Street
Silt, CO 81652
Phone: 970-625-2255 Fax:
email: sarah@propertyprosteam.com

Inquiries should be directed to:

Kari Arneson
Title Company of the Rockies
111 E. 3rd Street
Floor 1, Suite 101
Rifle, CO 81650
Phone: 970-625-5426 Fax: 844-269-2759
email: KArneson@titlecorockies.com

Commitment Number:

1206825-C

Buyer's Name(s):

Purchaser with contractual rights under a purchaser agreement with the vested owner
identified at item 4 below

Seller's Name(s):

Timothy Pace and Sarah Pace

Property:

2013 Pioneer Drive, Silt, CO 81652
Lot 24, Lyons Subdivision PUD, Garfield County, Colorado

COPIES / MAILING LIST

Purchaser with contractual rights under a purchaser agreement Timothy Pace and Sarah Pace
with the vested owner identified at item 4 below

COLORADO NOTARIES MAY REMOTELY NOTARIZE REAL ESTATE DEEDS AND OTHER
DOCUMENTS USING REAL-TIME AUDIO-VIDEO COMMUNICATION TECHNOLOGY. YOU MAY
CHOOSE NOT TO USE REMOTE NOTARIZATION FOR ANY DOCUMENT.



TITLE COMPANY
of the rockies

111 E. 3rd Street
Floor 1, Suite 101
Rifle, CO 81650
Phone: 970-625-5426 Fax: 844-269-2759
www.titlecorockies.com

Commitment Ordered By:

Sarah Pace
Property Professionals
704 Main Street
Silt, CO 81652
Phone: 970-625-2255 Fax:
email: sarah@propertyprosteam.com

Inquiries should be directed to:

Kari Arneson
Title Company of the Rockies
111 E. 3rd Street
Floor 1, Suite 101
Rifle, CO 81650
Phone: 970-625-5426 Fax: 844-269-2759
email: KArneson@titlecorockies.com

Commitment Number: 1206825-C**Buyer's Name(s):** Purchaser with contractual rights under a purchaser agreement with the vested owner identified at item 4 below**Seller's Name(s):** Timothy Pace and Sarah Pace**Property:** 2013 Pioneer Drive, Silt, CO 81652
Lot 24, Lyons Subdivision PUD, Garfield County, Colorado

TITLE CHARGES

These charges are based on issuance of the policy or policies described in the attached Commitment for Title Insurance, and includes premiums for the proposed coverage amount(s) and endorsement(s) referred to therein, and may also include additional work and/or third party charges related thereto.

If applicable, the designation of "Buyer" and "Seller" shown below may be based on traditional settlement practices in Garfield County, Colorado, and/or certain terms of any contract, or other information provided with the Application for Title Insurance.

| | |
|------------------------------|-----------------|
| Owner's Policy Premium: | \$0.00 |
| Loan Policy Premium: | \$0.00 |
| Additional Lender Charge(s): | |
| Additional Other Charge(s): | |
| Tax Certificate: | |
| Total Endorsement Charge(s): | |
| TBD Charge(s): | \$250.00 |
| TOTAL CHARGES: | \$250.00 |

COMMITMENT FOR TITLE INSURANCE

Issued by



as agent for

Westcor Land Title Insurance Company

SCHEDULE A

Reference:

Commitment Number: 1206825-C

1. Effective Date: **July 23, 2024, 7:00 am** Issue Date: **August 02, 2024**
2. Policy (or Policies) to be issued:

| | | |
|---------------------------|----------------|--------------------------------|
| ALTA® 2021 Owner's Policy | Policy Amount: | <i>Amount to be Determined</i> |
| | Premium: | <i>Amount to be Determined</i> |

Proposed Insured: **Purchaser with contractual rights under a purchaser agreement with the vested owner identified at item 4 below**
3. The estate or interest in the Land at the Commitment Date is **Fee Simple**.
4. The Title is, at the Commitment Date, vested in:
Timothy Pace and Sarah Pace
5. The Land is described as follows:

FOR LEGAL DESCRIPTION SEE SCHEDULE A CONTINUED ON NEXT PAGE

For Informational Purposes Only - APN: **R350741 / 2179-112-01-024**

Countersigned
Title Company of the Rockies, LLC

By:

A handwritten signature in dark ink, appearing to read "Mike Mulligan".

Mike Mulligan

SCHEDULE A (continued)

LEGAL DESCRIPTION

The Land referred to herein is located in the County of Garfield, State of Colorado, and described as follows:

Lot 24,
LYON SUBDIVISION PLANNED UNIT DEVELOPMENT, according to the Plat thereof filed
December 8, 1994 at [Reception No. 471909](#).

For each policy to be issued as identified in Schedule A, Item 2, the Company shall not be liable under this commitment until it receives a specific designation of a Proposed Insured, and has revised this commitment identifying that Proposed Insured by name. As provided in Commitment Condition 4, the Company may amend this commitment to add, among other things, additional exceptions or requirements after the designation of the Proposed Insured.

This page is only a part of a 2021 ALTA® Commitment for Title Insurance issued by Westcor Land Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright 2021 American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited.



Commitment No: 1206825-C**COMMITMENT FOR TITLE INSURANCE**

Issued by

*Westcor Land Title Insurance Company***SCHEDULE B, PART I
Requirements**

The following are the requirements to be complied with prior to the issuance of said policy or policies. Any other instrument recorded subsequent to the effective date hereof may appear as an exception under Schedule B of the policy to be issued. Unless otherwise noted, all documents must be recorded in the office of the clerk and recorded of the county in which said property is located.

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. Evidence satisfactory to the Company or its duly authorized agent that all dues and/or assessments levied by the Homeowners Association have been paid through the date of closing.
6. Release by the Public Trustee of Garfield County of the Deed of Trust from Timothy Pace and Sarah Pace for the use of Alpine Bank, to secure \$183,500.00, dated July 10, 2018, and recorded July 16, 2018 at [Reception No. 909283](#).
7. Deed from Timothy Pace and Sarah Pace to Purchaser with contractual rights under a purchaser agreement with the vested owner identified at item 4 below.

NOTE: Duly executed real property transfer declaration, executed by either the Grantor or

This page is only a part of a 2021 ALTA® Commitment for Title Insurance issued by Westcor Land Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright 2021 American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited.



Commitment No: **1206825-C**

Grantee, to accompany the Deed mentioned above, pursuant to Article 14 of House Bill No. 1288-CRA 39-14-102.

THE COMPANY RESERVES THE RIGHT TO CONDUCT AN ADDITIONAL SEARCH OF THE RECORDS IN THE OFFICE OF THE CLERK AND RECORDER FOR GARFIELD COUNTY, COLORADO FOR JUDGMENT LIENS, TAX LIENS OR OTHER SIMILAR OR DISSIMILAR INVOLUNTARY MATTERS AFFECTING THE GRANTEE OR GRANTEES, AND TO MAKE SUCH ADDITIONAL REQUIREMENTS AS IT DEEMS NECESSARY, AFTER THE IDENTITY OF THE GRANTEE OR GRANTEES HAS BEEN DISCLOSED TO THE COMPANY.

NOTE: THIS COMMITMENT IS ISSUED UPON THE EXPRESS AGREEMENT AND UNDERSTANDING THAT THE APPLICABLE PREMIUMS, CHARGES AND FEES SHALL BE PAID BY THE APPLICANT IF THE APPLICANT AND/OR ITS DESIGNEE OR NOMINEE CLOSES THE TRANSACTION CONTEMPLATED BY OR OTHERWISE RELIES UPON THE COMMITMENT, ALL IN ACCORDANCE WITH THE RULES AND SCHEDULES OF RATES ON FILE WITH THE COLORADO DEPARTMENT OF INSURANCE.

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Westcor Land Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright 2021 American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited.



Commitment No: 1206825-C

SCHEDULE B, PART II Exceptions

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This Commitment and the Policy treat any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document will be excepted from coverage.

The Policy will not insure against loss or damage resulting from the terms and conditions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any facts, right, interests, or claims which are not shown by the Public Records but which could be ascertained by an inspection of said Land or by making inquiry of persons in possession thereof.
2. Easements or claims of easements, not shown by the Public Records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land.
4. Any lien, or right to a lien for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
5. Defects, liens, encumbrances, adverse claims or other matters, if any created, first appearing in the Public Records or attaching subsequent to the effective date hereof, but prior to the date of the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this Commitment.
6. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
7. Right of the Proprietor of a Vein or Lode to extract and remove his ore therefrom, should the same be found to penetrate or intersect the premises hereby granted, as reserved in United States Patent recorded April 27, 1892 in [Book 12 at Page 142](#).
8. Easement and right of way for maintenance of overhead transmission or distribution lines

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Westcor Land Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright 2021 American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited.



Commitment No: **1206825-C**

- purposes, as granted by Valley Farms, Inc. to Holy Cross Electric Association by instrument recorded June 06, 1972 in [Book 432 at Page 554](#), said easement being more particularly described therein.
9. An undivided one-half (1/2) interest in all oil, gas and other mineral rights, as reserved by Valley Farms, Inc. in the Deed to Kelly Lyon and Jeanette Lyon recorded September 29, 1993 in [Book 876 at Page 921](#), and any and all assignments thereof or interests therein.
 10. Terms, agreements, provisions, conditions and obligations as contained in Town of Silt Ordinance No. 20, Series of 1993, concerning the annexation of Lyons Subdivision recorded December 30, 1993 in [Book 888 at Page 382](#).
 11. All remaining interest in all oil, gas and other mineral rights, as reserved by Kelly Lyon and Jeanette Lyon in the Deed to Kelly and Michael Lyon Family LTD. Liability Co. recorded December 06, 1994 in [Book 924 at Page 705](#), and any and all assignments thereof or interests therein.
 12. Terms, agreements, provisions, conditions and obligations as contained in Town of Silt Ordinance No. 12, Series of 1994, zoning as a Planned Unit Development known as Lyon Subdivision P.U.D. recorded December 08, 1994 in [Book 924 at Page 960](#).
 13. Terms, agreements, provisions, conditions and obligations as contained in Subdivision Improvements Agreement between Lyon Family Limited Liability Co. and The Board of Trustees of the Town Silt recorded December 08, 1994 in [Book 924 at Page 973](#), as amended by instruments recorded November 30, 1995 in [Book 959 at Page 795](#); and February 26, 1998 in [Book 1055 at Page 178](#).
 14. Any and all ditches and ditch rights including but not limited to the Cactus Valley Ditch.
 15. Easements, rights of way and all other matters as shown on the Plat of Lyons Subdivision Planned Unit Development, filed December 08, 1994 as [Reception No. 471909](#).
 16. Terms, agreements, provisions, conditions and obligations as contained in Agreement between Lyon Family Limited Liability Company and Grand River Ditch Company recorded December 12, 1997 as [Reception No. 517707](#).
 17. Terms, agreements, provisions, conditions and obligations as contained in Town of Silt Ordinance No. 26, Series of 1998, recorded December 28, 1998 as [Reception No. 537910](#).
 18. Terms, agreements, provisions, conditions and obligations as contained in Town of Silt Ordinance No. 8, Series of 1995, recorded December 28, 1998 as [Reception No. 537911](#).

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Westcor Land Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright 2021 American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited.



Commitment No: **1206825-C**

19. Terms, agreements, provisions, conditions and obligations as contained in Town of Silt Ordinance No. 2, Series of 1999, recorded June 04, 1999 as [Reception No. 546622](#).

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Westcor Land Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright 2021 American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited.



DISCLOSURE STATEMENTS

Note 1: Colorado Division of Insurance Regulations 3-5-1, Paragraph C of Article VII, requires that "Every Title entity shall be responsible for all matters which appear of record prior to the time of recording whenever the Title entity conducts the closing and is responsible for recording or filing of legal documents resulting from the transaction which was closed." (Gap Protection)

Note 2: Exception No. 4 of Schedule B, Section 2 of this Commitment may be deleted from the Owner's Policy to be issued hereunder upon compliance with the following conditions:

1. The Land described in Schedule A of this commitment must be a single-family residence, which includes a condominium or townhouse unit.
2. No labor or materials may have been furnished by mechanics or materialmen for purpose of construction on the Land described in Schedule A of this Commitment within the past 13 months.
3. The Company must receive an appropriate affidavit indemnifying the Company against unfilled mechanic's and materialmen's liens.
4. Any deviation from conditions A through C above is subject to such additional requirements or Information as the Company may deem necessary, or, at its option, the Company may refuse to delete the exception.
5. Payment of the premium for said coverage.

Note 3: The following disclosures are hereby made pursuant to §10-11-122, C.R.S.:

- (i) The subject real property may be located in a special taxing district;
- (ii) A certificate of taxes due listing each taxing jurisdiction shall be obtained from the County Treasurer or the County Treasurer's authorized agent; and
- (iii) Information regarding special districts and the boundaries of such districts may be obtained from the County Commissioners, the County Clerk and Recorder, or the County Assessor.

Note 4: If the sales price of the subject property exceeds \$100,000.00, the seller shall be required to comply with the disclosure or withholding provisions of C.R.S. §39-22-604.5 (Non-resident withholding).

Note 5: Pursuant to C.R.S. §10-11-123 Notice is hereby given:

- (a) If there is recorded evidence that a mineral estate has been severed, leased or otherwise conveyed from the surface estate then there is a substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property, and
- (b) That such mineral estate may include the right to enter and use the property without the surface owner's permission.

Note 6: Effective September 1, 1997, C.R.S. §30-10-406 requires that all documents received for recording or filing in the clerk and recorder's office shall contain a top margin of at least one inch and a left, right and bottom margin of at least one-half inch the clerk and recorder may refuse to record or file any document that does not conform.

Note 7: Our Privacy Policy:

We will not reveal nonpublic personal customer information to any external non-affiliated organization unless we have been authorized by the customer, or are required by law.

Note 8: Records:

Regulation 3-5-1 Section 7 (N) provides that each title entity shall maintain adequate documentation and

records sufficient to show compliance with this regulation and Title 10 of the Colorado Revised Statutes for a period of not less than seven (7) years, except as otherwise permitted by law.

Note 9: Pursuant Regulation 3-5-1 Section 9 (F) notice is hereby given that “A title entity shall not earn interest on fiduciary funds unless disclosure is made to all necessary parties to a transaction that interest is or has been earned. Said disclosure must offer the opportunity to receive payment of any interest earned on such funds beyond any administrative fees as may be on file with the division. Said disclosure must be clear and conspicuous, and may be made at any time up to and including closing.”

Be advised that the closing agent will or could charge an Administrative Fee for processing such an additional services request and any resulting payee will also be subjected to a W-9 or other required tax documentation for such purpose(s).

Be further advised that, for many transactions, the imposed Administrative Fee associated with such an additional service may exceed any such interest earned.

Therefore, you may have the right to some of the interest earned over and above the Administrative Fee, if applicable (e.g., any money over any administrative fees involved in figuring the amounts earned).

Note 10: Pursuant to Regulation 3-5-1 Section 9 (G) notice is hereby given that “Until a title entity receives written instructions pertaining to the holding of fiduciary funds, in a form agreeable to the title entity, it shall comply with the following:

1. The title entity shall deposit funds into an escrow, trust, or other fiduciary account and hold them in a fiduciary capacity.
2. The title entity shall use any funds designated as “earnest money” for the consummation of the transaction as evidenced by the contract to buy and sell real estate applicable to said transaction, except as otherwise provided in this section. If the transaction does not close, the title entity shall:
 - (a) Release the earnest money funds as directed by written instructions signed by both the buyer and seller; or
 - (b) If acceptable written instructions are not received, uncontested funds shall be held by the title entity for 180 days from the scheduled date of closing, after which the title entity shall return said funds to the payor.
3. In the event of any controversy regarding the funds held by the title entity (notwithstanding any termination of the contract), the title entity shall not be required to take any action unless and until such controversy is resolved. At its option and discretion, the title entity may:
 - (a) Await any proceeding; or
 - (b) Interplead all parties and deposit such funds into a court of competent jurisdiction, and recover court costs and reasonable attorney and legal fees; or
 - (c) Deliver written notice to the buyer and seller that unless the title entity receives a copy of a summons and complaint or claim (between buyer and seller), containing the case number of the lawsuit or lawsuits, within 120 days of the title entity's written notice delivered to the parties, title entity shall return the funds to the depositing party. ”

Title Company of the Rockies

Disclosures

All documents received for recording or filing in the Clerk and Recorder's office shall contain a top margin of at least one inch and a left, right and bottom margin of at least one half of an inch. The Clerk and Recorder will refuse to record or file any document that does not conform to the requirements of this section. Pursuant to C.R.S. 30-10-406(3)(a).

The company will not issue its policy or policies of title insurance contemplated by this commitment until it has been provided a Certificate of Taxes due or other equivalent documentation from the County Treasurer or the County Treasurer's authorized agent: or until the Proposed Insured has notified or instructed the company in writing to the contrary. Pursuant to C.R.S. 10-11-122.

No person or entity that provides closing and settlement services for a real estate transaction shall disburse funds as a part of such services until those funds have been received and are available for immediate withdrawals as a matter of right. Pursuant to C.R.S. 38-35-125(2).

The Company hereby notifies the proposed buyer in the current transaction that there may be recorded evidence that the mineral estate, or portion thereof, has been severed, leased, or otherwise conveyed from the surface estate. If so, there is a substantial likelihood that a third party holds some or all interest in the oil, gas, other minerals, or geothermal energy in the subject property. Such mineral estate may include the right to enter and use the property without the surface owner's permission. Pursuant to C.R.S. 10-11-123.

If this transaction includes a sale of property and the sales price exceeds \$100,000.00, the seller must comply with the disclosure/withholding requirements of said section. (Nonresident withholding) Pursuant to C.R.S. 39-22-604.5.

Notice is hereby given that: The subject property may be located in a special taxing district. A Certificate of Taxes due listing each taxing jurisdiction shall be obtained from the County Treasurer or the County Treasurer's authorized agent. Information regarding special districts and the boundaries of such districts may be obtained from the Board of County Commissioners, the County Clerk and Recorder, or the County Assessor. Pursuant to C.R.S. 10-11-122.

Notice is hereby given that: Pursuant to Colorado Division of Insurance Regulation 8-1-2;

"Gap Protection" -When this Company conducts the closing and is responsible for recording or filing the legal documents resulting from the transaction, the Company shall be responsible for all matters which appear on the record prior to such time or recording or filing; and

"Mechanic's Lien Protection" - If you are the buyer of a single family residence, you may request mechanic's lien coverage to be issued on your policy of Insurance. If the property being purchased has not been the subject of construction, improvements or repairs in the last six months prior to the date of this commitment, the requirements will be payment of the appropriate premium and the completion of an Affidavit and Indemnity by the seller. If the property being purchased was constructed, improved or repaired within six months prior to the date of this commitment the requirements may involve disclosure of certain financial information, payment of premiums, and indemnity, among others. The general requirements stated above are subject to revision and approval by the Company. Pursuant to C.R.S. 10-11-122.

Notice is hereby given that an ALTA Closing Protection Letter is available, upon request, to certain parties to the transaction as noted in the title commitment. Pursuant to Colorado Division of Insurance Regulation 8-1.

Nothing herein contained will be deemed to obligate the Company to provide any of the coverages referred to herein unless the above conditions are fully satisfied.

Joint Notice of Privacy Policy
of
Westcor Land Title Insurance Company
and
Title Company of the Rockies, LLC

Westcor Land Title Insurance Company (“WLTIC”) and **Title Company of the Rockies, LLC** value their customers and are committed to protecting the privacy of personal information. In keeping with that philosophy, we each have developed a Privacy Policy, set out below, that will endure the continued protection of your nonpublic personal information and inform you about the measures WLTIC and **Title Company of the Rockies, LLC** take to safeguard that information. This notice is issued jointly as a means of paperwork reduction and is not intended to create a joint privacy policy. Each company’s privacy policy is separately instituted, executed, and maintained.

Who is Covered

We provide our Privacy Policy to each customer when they purchase a WLTIC title insurance policy. Generally, this means that the Privacy Policy is provided to the customer at the closing of the real estate transaction.

Information Collected

In the normal course of business and to provide the necessary services to our customers, we may obtain nonpublic personal information directly from the customer, from customer-related transactions, or from third parties such as our title insurance agent, lenders, appraisers, surveyors and other similar entities.

Access to Information

Access to all nonpublic personal information is limited to those employees who have a need to know in order to perform their jobs. These employees include, but are not limited to, those in departments such as closing, legal, underwriting, claims and administration and accounting.

Information Sharing

Generally, neither WLTIC nor **Title Company of the Rockies, LLC** shares nonpublic personal information that it collects with anyone other than those individuals necessary needed to complete the real estate settlement services and issue its title insurance policy as requested by the consumer. WLTIC or **Title Company of the Rockies, LLC** may share nonpublic personal information as permitted by law with entities with whom WLTIC or **Title Company of the Rockies, LLC** has a joint marketing agreement. Entities with whom WLTIC or **Title Company of the Rockies, LLC** have a joint marketing agreement have agreed to protect the privacy of our customer’s nonpublic personal information by utilizing similar precautions and security measures as WLTIC and **Title Company of the Rockies, LLC** use to protect this information and to use the information for lawful purposes. WLTIC or **Title Company of the Rockies, LLC**, however, may share information as required by law in response to a subpoena, to a government regulatory agency or to prevent fraud.

Information Security

WLTIC and **Title Company of the Rockies, LLC**, at all times, strive to maintain the confidentiality and

integrity of the personal information in its possession and has instituted measures to guard against its unauthorized access. We maintain physical, electronic and procedural safeguards in compliance with federal standards to protect that information.

The WLTIC Privacy Policy can be found on WLTIC's website at www.wltic.com



ALTA COMMITMENT FOR TITLE INSURANCE
issued by
WESTCOR LAND TITLE INSURANCE COMPANY
(ALTA Adopted 07-01-2021)

NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACTIONAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, Westcor Land Title Insurance Company, a South Carolina Corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Amount of Insurance and the name of the Proposed Insured.

If all of the Schedule B, Part I—Requirements have not been met within (6) months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

Issued By:

**WESTCOR LAND TITLE INSURANCE
COMPANY**

Title Company of the Rockies, LLC

111 E. 3rd Street
Floor 1, Suite 101
Rifle, CO 81650
Phone: 970-625-5426



By:

Mary O'Donnell - President

Attest:

Donald A. Berube - Secretary

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Westcor Land Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright 2021 American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.



COMMITMENT CONDITIONS

1. DEFINITIONS

- a. “Discriminatory Covenant”: Any covenant, condition, restriction, or limitation that is unenforceable under applicable law because it illegally discriminates against a class of individuals based on personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or other legally protected class.
- b. “Knowledge” or “Known”: Actual knowledge or actual notice, but not constructive notice imparted by the Public Records.
- c. “Land”: The land described in Item 5 of Schedule A and improvements located on that land that by State law constitute real property. The term “Land” does not include any property beyond that described in Schedule A, nor any right, title, interest, estate, or easement in any abutting street, road, avenue, alley, lane, right-of-way, body of water, or waterway, but does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- d. “Mortgage”: A mortgage, deed of trust, trust deed, security deed, or other real property security instrument, including one evidenced by electronic means authorized by law.
- e. “Policy”: Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- f. “Proposed Amount of Insurance”: Each dollar amount specified in Schedule A as the Proposed Amount of Insurance of each Policy to be issued pursuant to this Commitment.
- g. “Proposed Insured”: Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- h. “Public Records”: The recording or filing system established under State statutes in effect at the Commitment Date under which a document must be recorded or filed to impart constructive notice of matters relating to the Title to a purchaser for value without Knowledge. The term “Public Records” does not include any other recording or filing system, including any pertaining to environmental remediation or protection, planning, permitting, zoning, licensing, building, health, public safety, or national security matters.
- i. “State”: The state or commonwealth of the United States within whose exterior boundaries the Land is located. The term “State” also includes the District of Columbia, the Commonwealth of Puerto Rico, the U.S. Virgin Islands, and Guam.
- j. “Title”: The estate or interest in the Land identified in Item 3 of Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company’s liability and obligation end.

3. The Company’s liability and obligation is limited by and this Commitment is not valid without:

- a. the Notice;
- b. the Commitment to Issue Policy;
- c. the Commitment Conditions;
- d. Schedule A;
- e. Schedule B, Part I—Requirements; and
- f. Schedule B, Part II—Exceptions; and
- g. a signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY’S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Westcor Land Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Date, any liability of the Company is limited by Commitment Condition 5. The Company is not liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- a. The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - i. comply with the Schedule B, Part I—Requirements;
 - ii. eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
 - iii. acquire the Title or create the Mortgage covered by this Commitment.
- b. The Company is not liable under Commitment Condition 5.a. if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- c. The Company is only liable under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- d. The Company's liability does not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Condition 5.a. or the Proposed Amount of Insurance.
- e. The Company is not liable for the content of the Transaction Identification Data, if any.
- f. The Company is not obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- g. The Company's liability is further limited by the terms and provisions of the Policy to be issued to the Proposed Insured.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT; CHOICE OF LAW AND CHOICE OF FORUM

- a. Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- b. Any claim must be based in contract under the State law of the State where the Land is located and is restricted to the terms and provisions of this Commitment. Any litigation or other proceeding brought by the Proposed Insured against the Company must be filed only in a State or federal court having jurisdiction.
- c. This Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- d. The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- e. Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- f. When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT IS ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for closing, settlement, escrow, or any other purpose.

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Westcor Land Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. CLAIMS PROCEDURES

This Commitment incorporates by reference all Conditions for making a claim in the Policy to be issued to the Proposed Insured. Commitment Condition 9 does not modify the limitations of liability in Commitment Conditions 5 and 6.

10. CLASS ACTION

ALL CLAIMS AND DISPUTES ARISING OUT OF OR RELATING TO THIS COMMITMENT, INCLUDING ANY SERVICE OR OTHER MATTER IN CONNECTION WITH ISSUING THIS COMMITMENT, ANY BREACH OF A COMMITMENT PROVISION, OR ANY OTHER CLAIM OR DISPUTE ARISING OUT OF OR RELATING TO THE TRANSACTION GIVING RISE TO THIS COMMITMENT, MUST BE BROUGHT IN AN INDIVIDUAL CAPACITY. NO PARTY MAY SERVE AS PLAINTIFF, CLASS MEMBER, OR PARTICIPANT IN ANY CLASS OR REPRESENTATIVE PROCEEDING. ANY POLICY ISSUED PURSUANT TO THIS COMMITMENT WILL CONTAIN A CLASS ACTION CONDITION.

11. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Amount of Insurance is \$2,000,000 or less may be arbitrated at the election of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Westcor Land Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; Schedule A; Schedule B, Part I-Requirements; and Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

Copyright 2021 American Land Title Association. All rights reserved.

The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited.



Anti-Fraud Statement

NOTE: Pursuant to CRS 10-1-128(6)(a), It is unlawful to knowingly provide false, incomplete, or misleading facts or information to an insurance company for the purpose of defrauding or attempting to defraud the company. Penalties may include imprisonment, fines, denial of insurance and civil damages. Any insurance company or agent of an insurance company who knowingly provides false, incomplete, or misleading facts or information to a policyholder or claimant for the purpose of defrauding or attempting to defraud the policyholder or claimant with regard to a settlement or award payable from insurance proceeds shall be reported to the Colorado division of insurance within the department of regulatory agencies.

This anti-fraud statement is affixed to and made a part of this policy.



Community Development Department

MEMORANDUM

TO: Planning & Zoning Commissioners
FROM: Nicole Centeno, Community Development Manager
DATE: August 6, 2024
RE: Silt Jumbo Storage Site Plan Amendment

Silt Jumbo Storage came in front of the Planning and Zoning Commission on April 4, 2023, for a Silt Plan Review. The Site Plan was approved, with the conditions listed in the staff report.

After the Site Plan Review approval, Mr. Dillard (Owner of Silt Jumbo Storage) submitted for a building permit review. There was a discrepancy in the submittal, regarding sufficient fire protection, causing the Town, Colorado River Fire Rescue and Mr. Dillard to find an alternative means to which he could resolve the issue.

Mr. Dillard was asked to make the fire protection amendments, to the plans with a tentative building permit approval, pending the addition of fire barriers.

During the timeframe of revisions, Mr. Dillard requested a scrapping permit, to remove trees and shrubs. The Town issued this permit, with restrictions not to excavate. When the Town received a fire dispatch and responded, it was realized that Mr. Dillard's contractors had worked outside of the scope of the permit and proceeded to open burn the grubbed trees and brush. A stop work order was issued and Mr. Dillard was cited into Silt Municipal Court.

Mr. Dillard is now in compliance with the courts and does not have any outstanding balances.

Once this situation was addressed, Mr. Dillard submitted revised plans. It was discovered, during the Town's final review, that Mr. Dillard had not only added the requested fire barriers, but had in fact changed his layout, building sizes, drainage and landscaping, causing his project to be in default of his approved Site Plan Review.

Mr. Dillard was informed at that time, that he would need to request an Amended Site Plan Review, from the Planning and Zoning Commission.

Now that we have an accurate list of items that were changed, Town Staff and our referral agencies have been able to review said changes.

Commissioner Aragon requested erosion control, as a condition of approval, at the continuation of this project on July 10, 2024. The Town then requested a copy of Mr. Dillard's "Notice to Proceed" from CDOT. There was a confusion between Mr. Dillard's engineer and CDOT, as to what was required, so the project was started without the correct permitting through the state.

Mr. Dillard and I had a meeting on Tuesday, July 30th and he assured me that he is painfully aware of the hard lessons that he has had to learn from, throughout this whole process. He is taking a more hands on approach from this point forward, to ensure nothing but compliance with local and state regulations.

Overall, we have found a path forward and Mr. Dillard will be present that the meeting to answer any questions to address any concerns.

Town of Silt Planning Commission Meeting

August 6, 2024 at 6:30 PM

Silt Jumbo Storage – Site Plan Review Amendment

Staff Report

| | |
|--|--|
| Name of Project | Silt Jumbo Storage |
| Applicant/Owner | 510 W. Main Storage LLC 852 Handy Drive Carbondale, CO 81623 970.355.4080 |
| Owner Representative/ Land Planner | None Designated |
| Civil Engineer | Crystal River Civil 1101 Village Road, Unit UL-3C Carbondale, CO 81623 970.510.5312 |
| Project Attorney | None Designated |
| Landscape Architect | Pinon Sage 700 Redstone Ave. Carbondale, CO 81623 |
| Water Engineer | NA |
| Property Location | 510 West Main St, Silt, CO |
| Existing Zoning | B-3 |
| Surrounding Land Uses | North – Lumber Yard/Industrial East – Residential South – Storage West – Commercial/ Light Industrial |
| Surrounding Zoning | North & West – Unincorporated Garfield County South – B-3 (north of Main St.) East – Residential PUD and Open Space |
| Proposed Use | Original: 11 self-storage buildings Approximately 65,00 SF +/- Revised: 17 self-storage buildings, approximately 72,000 SF +/- |
| Area of Parcel Subject to application | 7.23 Acres |
| Existing Use | Vacant |
| Silt Comprehensive Plan | Service and Commercial Support |
| Parcel & Reception Numbers | 2179-091-00-036 and 2179-091-00-035 |
| Legal Description | Lots A & B- Amended Plat of Parcel No.1 of the Terrel Annexation No.1 - according to the plat recorded as Reception # 462364 |

I. Description of Request

Original Proposal: Applicant is proposing to build a self-storage facility at the east end of town. Proposal is for 11 storage buildings and slightly over 60,000 ft.² of self-storage. The subject property to be developed is tucked back and behind a property which has existing self-storage. The applicant shares an access right now with another property and this access will be upgraded with an asphalt driveway. The circulation around the proposed development is to have concrete driving in circulation area. The property is to have remote key access so there will be no office facility on site. The storage units will be one story in height. The tallest building will be approximately 18 feet in height. Elevations from Pella Building Systems Inc. is included in attachment E of the application.

Revised Proposal:**Building Changes to Site Plan:**

- Combined Building C and Building D into new Building C1/C2 with a fire barrier.
- Increased size of original Building E, changed name to Building D and added a fire barrier.
- Split original Building F into new Building E and F.
- Combined Building G and Building H into new Building G1/G2 with a fire barrier.
- Combined Building J and Building K into new Building I1/I2/I3 with a fire barrier.

Square Foot Change: Net increase of 5,079sf

Approved Site Plan:**OVERALL FLOOR AREA**

| | |
|----------------------|------------------|
| BUILDING "A" | 4,900 SF |
| BUILDING "B" | 11,200 SF |
| BUILDING "C" | 3,360 SF |
| BUILDING "D" | 2,800 SF |
| BUILDING "E" | 6,120 SF |
| BUILDING "F" | 7,820 SF |
| BUILDING "G" | 4,480 SF |
| BUILDING "H" | 4,200 SF |
| BUILDING "I" | 8,960 SF |
| BUILDING "J" | 6,400 SF |
| BUILDING "K" | 6,400 SF |
| OVERALL TOTAL | 66,640 SF |

Amended Site Plan:**OVERALL FLOOR AREA**

| | |
|----------------------|------------------|
| BUILDING "A" | 4,900 SF |
| BUILDING "B1" | 3,538 SF |
| BUILDING "B2" | 3,400 SF |
| BUILDING "B3" | 4,262 SF |
| BUILDING "C1" | 2,960 SF |
| BUILDING "C2" | 3,494 SF |
| BUILDING "D1" | 2,645 SF |
| BUILDING "D2" | 4,750 SF |
| BUILDING "E" | 4,760 SF |
| BUILDING "F" | 5,100 SF |
| BUILDING "G1" | 4,760 SF |
| BUILDING "G2" | 4,590 SF |
| BUILDING "H1" | 4,343 SF |
| BUILDING "H2" | 4,617 SF |
| BUILDING "I 1" | 4,566 SF |
| BUILDING "I 2" | 4,470 SF |
| BUILDING "I 3" | 4,564 SF |
| OVERALL TOTAL | 71,719 SF |

II. Recent Project History

As per the memo:

Silt Jumbo Storage came in front of the Planning and Zoning Commission on April 4, 2023, for a Silt Plan Review. The Site Plan was approved, with the conditions listed in the staff report.

After the Site Plan Review approval, Mr. Dillard (Owner of Silt Jumbo Storage) submitted for a building permit review. There was a discrepancy in the submittal, regarding sufficient fire protection, causing the Town, Colorado River Fire Rescue and Mr. Dillard to find an alternative means to which he could resolve the issue.

Mr. Dillard was asked to make the fire protection amendments, to the plans with a tentative building permit approval, pending the addition of fire barriers.

During the timeframe of revisions, Mr. Dillard requested a scrapping permit, to remove trees and shrubs. The Town issued this permit, with restrictions not to excavate. When the Town received a fire dispatch and responded, it was realized that Mr. Dillard's contractors had worked outside of the scope of the permit and proceeded to open burn the grubbed trees and brush. A stop work order was issued and Mr. Dillard was cited into Silt Municipal Court.

Mr. Dillard is now in compliance with the courts and does not have any outstanding balances.

Once this situation was addressed, Mr. Dillard submitted revised plans. It was discovered, during the Town's final review, that Mr. Dillard had not only added the requested fire barriers, but had in fact changed his layout, building sizes, drainage and landscaping, causing his project to be in default of his approved Site Plan Review.

Mr. Dillard was informed at that time, that he would need to request an Amended Site Plan Review, from the Planning and Zoning Commission.

Now that we have an accurate list of items that were changed, Town Staff and our referral agencies have been able to review said changes.

Commissioner Aragon requested erosion control, as a condition of approval, at the continuation of this project on July 10, 2024. The Town then requested a copy of Mr. Dillard's "Notice to Proceed" from CDOT. There was a confusion between Mr. Dillard's engineer and CDOT, as to what was required, so the project was started without the correct permitting through the state.

Mr. Dillard and I had a meeting on Tuesday, July 30th and he assured me that he is painfully aware of the hard lessons that he has had to learn from, throughout this whole process. He is taking a more hands on approach from this point forward, to ensure nothing but compliance with local and state regulations.

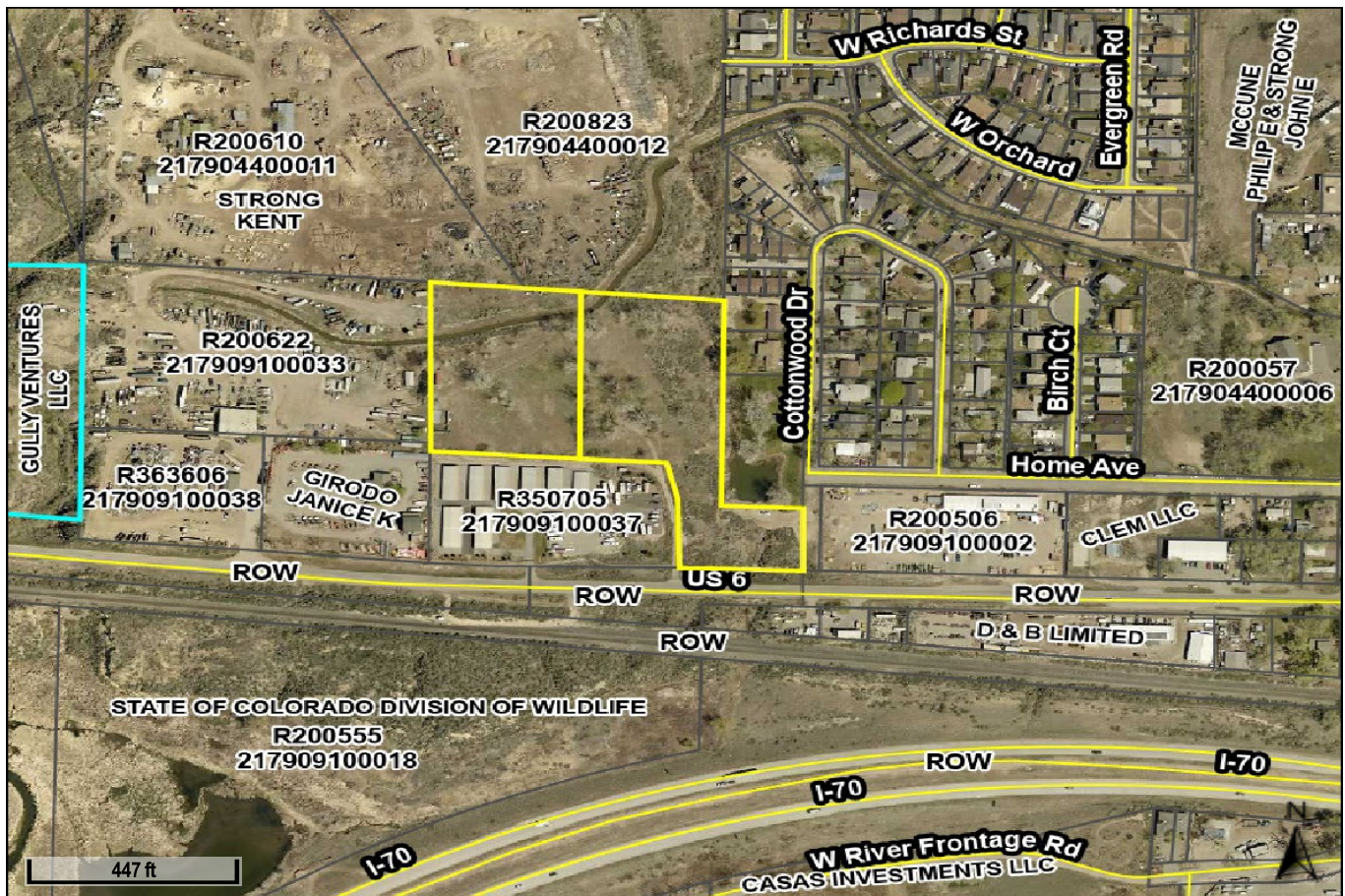
Overall, we have found a path forward and Mr. Dillard will be present that the meeting to answer any questions to address any concerns.

III. Property

The property is located at the east end of Main Street, on the north side. It helps form the west boundary of the Town's municipal limits. Please note that the eastern boundary borders a residential subdivision in the town as well as a town park.

The property shares access with the storage unit facility to the south. A traffic report has been provided.

The property is perched on a shelf higher than the elevation of Main Street. The property is bordered on the north and northwest by the Cactus Valley Ditch. Nothing is proposed near the ditch or this "island" at the present time.



| | | | | | | | |
|----------------|--------------|------------------|---------------------|-------------------------|-----------|-------------------|-------|
| Account Number | R200566 | Physical Address | 32369 6 & 24 HWY | 2019 Total Actual Value | \$685,400 | Last 2 Sales Date | Price |
| Parcel Number | 217904300413 | | SILT | 81652 | | 7/15/2021 | \$0 |
| Acres | 0 | Owner Address | GULLY VENTURES, LLC | | | 12/23/1997 | \$0 |
| Land SqFt | 328,878 | | 334 PONDEROSA DRIVE | | | | |
| Tax Area | 020 | | GLENWOOD SPRINGS CO | | | | |
| 2019 Mill Levy | 74.6820 | | 81601 | | | | |

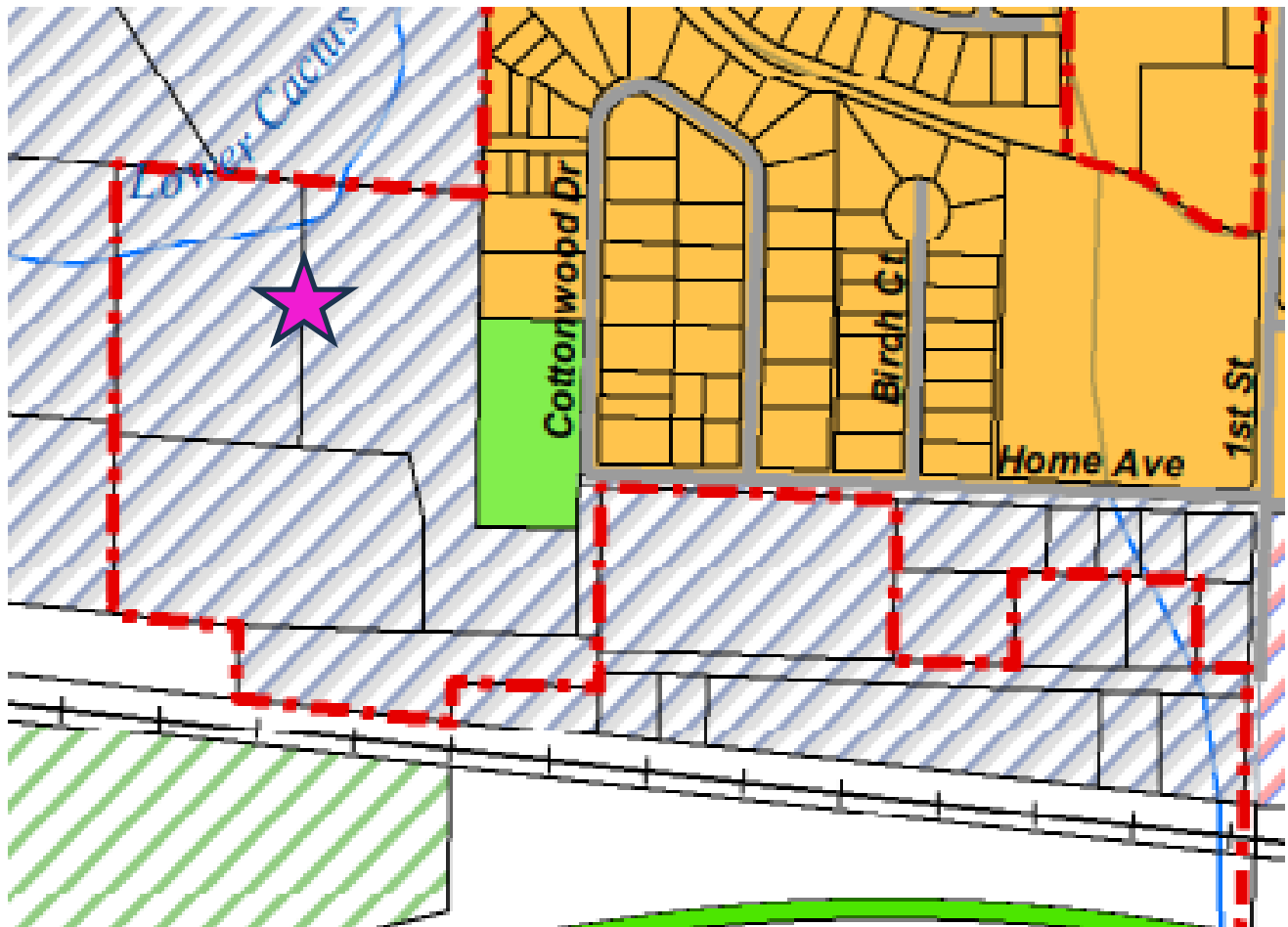
Developed by



IV. Silt Comprehensive Plan

The property is designated as Service and Commercial Support according to the Comprehensive Plan. This designation specifies that the preferred use be solid retail or service; such as supply companies, offices, craftsmen, repair shops, hotels, convenient stores.

Storage units don't meet the intention of the comprehensive plan, however, it is designated a B-3 Zone District, where self-storage is a use by right. A Site Plan approval is still required, as is with all commercial designations.



Comprehensive Plan - Future Land Use 2017: Town of Silt, CO



0 250 500 1,000 1,500 2,000 2,500 3,000 Feet



| Land Use Designation | Description/Characteristics | Locational Criteria |
|---|---|--|
| <p>Service and Commercial Support Zone Districts: B-1, B-2 and B-3 Create new Industrial Zone District</p> | <p>Those properties within the Comprehensive Plan Land Use Designation of “Service and Commercial Support” are outside of the Town’s Downtown area, but are expected to have good visibility from Main Street and/or the I-70 corridor. The “Service and Commercial Support” designation is not expected to extend more than two blocks north of Highway 6. For this reason, it is appropriate to expect that these properties will provide the Town with solid retail and service commercial businesses, such as construction related businesses like supply companies, office-type businesses such as real estate offices, craftsmen-type businesses such as cabinet makers, and other services such as auto repair and small appliance repair, hotels, and convenience stores. These properties should look inviting and aesthetically professional, and the structures should have a western appeal or theme if possible. This area is crucial for the Town’s employment picture, providing local jobs within the core of the community, and keeping the residents close to enjoy the time not spent working with their families and friends. While retail businesses may not be the main focus in the “Service and Commercial Support” area, it is important for the Town to encourage any business that provides clean commercial without air pollution, noise, undesired odor, vibration or wasted resources. As the Town and/or businesses grow(s), this Comprehensive Plan Land Use Designation will have to shrink in order to accommodate a larger “Downtown” area.</p> <p>The Town should carefully scrutinize marijuana applications in this land use designation.</p> | <p>Along the railroad I-70 corridor (extending west of Ukele) and north and south of the river thereby limiting traffic impacts on residential areas. Service and Commercial Support sites should have adequate access to one or more major arterial and highway access capable of handling heavy truck traffic.</p> <p>Industrial uses have access to major highways through the Town’s arterial street system with minimal travel through other less intense land uses.</p> <p>Compatibility with nearby land uses and proximity to other industries are relevant criteria for siting industrial uses.</p> |

V. Review Agency Comments

Town Engineer -- The Town Engineer has diligently been reviewing all submittals and corrections. There was another corrected submittal that was provided to the Town on Tuesday, August 30, however, given the time restraint, those correction may not be available by the meeting.

Mr. Dillard's engineer is working with our engineer to make all necessary corrections. There will not be a permit issued, until all referral agencies have given a final approval.

Town Attorney – No comments at this time.

Public Works – No comments at this time.

CDOT - we have asked the applicant/applicants engineered to provide a copy of the Notice to Proceed, as soon as it's obtained. No work will commence without that approval.

Fire District – The fire district has provided comments and is accepting of changes.

VI. Planner Comments & Recommendation:

As stated in the memo, it's clear that this project has a history and some valuable insights have been learned by the applicant. There is a reasonable effort being made, by the applicant, to get more involved with this project, to ensure compliance with approvals.

Overall, staff finds that these proposed changes don't negatively impact the project as a whole, or adjacent property owners.

Staff recommends **APPROVAL** of the Amended Site Plan Review for Silt Jumbo Storage, with the following conditions.

1. That all representations of the application, made in writing, application materials and verbally at the Planning Commission meeting or that are reflected in the meeting minutes are considered part of the application and are binding on the applicant.
2. That the applicant shall work in good faith, with the Town Engineer, to resolve issues identified in the review redlines to the satisfaction of the Town Engineer and Staff, prior to submittal of a building permit and the construction of any site improvements on the property.
3. That if drainage onto adjacent properties becomes an issue, the applicant will work with the Town to address any and all drainage or landscaping maintenance.
4. That all exterior lighting in the project shall conform to the Town of Silt lighting standards.

5. That the applicant provides their accepted CDOT Notice to Proceed.
6. That the landscaping plan include any additional items deemed necessary by the Planning Commission and Town Staff/Engineer.
7. That no outdoor storage will take place, as this will be a violation of this Site Plan Approval.
8. That all outstanding balances be paid in full, to the Town of Silt, prior to the issuance of the building permit.
9. That the waterline be dedicated to the Town, with required 20' easement. Both the dedication and easement need to be recorded, prior to Certificate of Occupancy issuance.
10. That the hose bib usage be monitored and not used as a filling station or clean-out station. There is not adequate connection to the wastewater system, to allow for RV waste drainage or cleaning. There is not sufficient drainage for this hose bib to even be used as a car wash or spray off of off-road vehicles.
11. That the lot line be dissolved, prior to building installation, as this project crosses lot lines and needs to be converted into a single parcel.
12. The monument sign, as well as any additional proposed signage needs to be separately permitted and meet Silt Municipal Code or have approval sign exemption from the Planning and Zoning Commission, prior to installation.
13. That after zoning approval, by way of Site Plan Review, the plans are submitted for re-review of Silt's adopted building codes, for code compliance. No permit shall be issued until all approvals are received.
14. That any and ALL changes to this project need to be communicated with the Town, to determine zoning and building compliance, with regards to the approved plans. Failure to receive Town approvals for any deviation from plans, will result in a stop work order and revocation of the permit, rescinded resolution and possible summons into court.
15. That the applicant is responsible for ensuring his tenants compliance with local, state and federal laws. This can be accomplished through contracts, agreements or whatever method the applicant finds successful. The applicant is the responsible party for what takes place at 510 West Main Street, for the duration of his ownership of the business and parcel.
16. That any previous conditions of approval are still relevant and required, unless otherwise specified in this amendment.

VII. Recommended Motion:

Motion to approve the Amended Site Plan for Silt Jumbo Storage and Resolution PZ-9, Series of 2024, with the conditions written in the staff report and spoken during this meeting.

**TOWN OF SILT
RESOLUTION NO. PZ- 9
SERIES OF 2024**

**A RESOLUTION OF THE PLANNING AND ZONING COMMISSION
APPROVING THE AMENDMENT OF SITE PLAN REVIEW FOR SILT JUMBO
STORAGE AND RESOLUTION NUMBER PZ-1, SERIES OF 2023, ALLOWING
FOR STORAGE UNITS AT 510 WEST MAIN STREET, WITHIN THE TOWN OF
SILT, GARFIELD COUNTY, STATE OF COLORADO**

WHEREAS, Silt Jumbo Storage submitted an application to amend a Site Plan Review (“Application”) on or about June 24, 2024, requesting that they be allowed to build and operate storage units at 510 West Main Street; and

WHEREAS, the legal description is Section: 9 Township: 6 Range: 92 TR IN PARCEL 1 TERRELL ANNEXATION AKA LOT B FINAL PLAT PARCEL 1 TERRELL ANNEXATION #1; and Section: 9 Township: 6 Range: 92 LOT A, AMD. PLAT OF PARCEL 1, TERRELL ANNEX. #1; and

WHEREAS, Town Staff processed the application and forwarded the application as well as staff comments about the application and various memoranda to the Town Planning and Zoning Commission (“Commission”); and

WHEREAS, the commission reviewed and discussed the application at its regular meeting on August 6, 2024; and

WHEREAS, upon proper consideration there is a finding that it is reasonable to approve the proposed amendments, as it aligns with the B-3 Zoning and does not appear to have any significant negative impact to adjacent properties; and

NOW, THEREFORE BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF SILT, COLORADO, THAT: the Amended Site Plan Review for a Silt Jumbo Storage at 510 West Main, within the Town of Silt, Colorado (“Town”), be approved, subject to the following conditions:

1. That all representations of the application, made in writing, application materials and verbally at the Planning Commission meeting or that are reflected in the meeting minutes are considered part of the application and are binding on the applicant.
2. That the applicant shall work in good faith, with the Town Engineer, to resolve issues identified in the review redlines to the satisfaction of the Town Engineer and Staff, prior to submittal of a building permit and the construction of any site improvements on the property.

3. That if drainage onto adjacent properties becomes an issue, the applicant will work with the Town to address any and all drainage or landscaping maintenance.
4. That all exterior lighting in the project shall conform to the Town of Silt lighting standards.
5. That the applicant provides their accepted CDOT Notice to Proceed.
6. That the landscaping plan include any additional items deemed necessary by the Planning Commission and Town Staff/Engineer.
7. That no outdoor storage will take place, as this will be a violation of this Site Plan Approval.
8. That all outstanding balances be paid in full, to the Town of Silt, prior to the issuance of the building permit.
9. That the waterline be dedicated to the Town, with required 20' easement. Both the dedication and easement need to be recorded, prior to Certificate of Occupancy issuance.
10. That the hose bib usage be monitored and not used as a filling station or clean-out station. There is not adequate connection to the wastewater system, to allow for RV waste drainage or cleaning. There is not sufficient drainage for this hose bib to even be used as a car wash or spray off of off-road vehicles.
11. That the lot line be dissolved, prior to building installation, as this project crosses lot lines and needs to be converted into a single parcel.
12. The monument sign, as well as any additional proposed signage needs to be separately permitted and meet Silt Municipal Code or have approval sign exemption from the Planning and Zoning Commission, prior to installation.
13. That after zoning approval, by way of Site Plan Review, the plans are submitted for re-review of Silt's adopted building codes, for code compliance. No permit shall be issued until all approvals are received.
14. That any and ALL changes to this project need to be communicated with the

Town, to determine zoning and building compliance, with regards to the approved plans. Failure to receive Town approvals for any deviation from plans, will result in a stop work order and revocation of the permit, rescinded resolution and possible summons into court.

15. That the applicant is responsible for ensuring his tenants compliance with local, state and federal laws. This can be accomplished through contracts, agreements or whatever method the applicant finds successful. The applicant is the responsible party for what takes place at 510 West Main Street, for the duration of his ownership of the business and parcel.
16. That any previous conditions of approval are still relevant and required, unless otherwise specified in this amendment.

INTRODUCED, READ AND APPROVED at a regular meeting of the Planning and Zoning Commission of the Town of Silt, Colorado held on the 6th day of August, 2024.

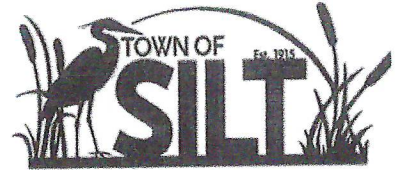
TOWN OF SILT

ATTEST:

Chair Lindsey Williams

Community Development Manager, Nicole Centeno

Town of Silt Community Development
231 N. 7th Street, Silt Colorado 81652; (970)876-2353 ext. 108



Land Use Application Form

| | | |
|---|--|---|
| <input type="checkbox"/> Amended Plat | <input type="checkbox"/> Boundary Adjustment | <input type="checkbox"/> Subdivision Exemption |
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Sketch Plan | <input type="checkbox"/> Floodplain Development |
| <input type="checkbox"/> Final Plan | <input type="checkbox"/> Planned Unit Development | <input type="checkbox"/> Vacation of Right-of-Way |
| <input type="checkbox"/> Text Amendment | <input type="checkbox"/> Site Plan Review | <input type="checkbox"/> Re-Subdivision Final Plan |
| <input type="checkbox"/> Easement Agreement | <input type="checkbox"/> Zoning or Rezoning | <input type="checkbox"/> Subdivision Improvement Agreement |
| <input type="checkbox"/> Preliminary Plan | <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> Annexation & Development Agreement |
| <input type="checkbox"/> Zoning Variance | <input checked="" type="checkbox"/> Other: <u>Site Plan revision</u> | |

Project Name: Silt Jumbo Storage

Project Description / Property Information:

Address: 510 West Main Street

Parcel ID Number: 217909100036 + 217909100035

Legal Description (attach additional sheets if necessary): Lots A+B Final Plat Parcel 1

Terrell Annexation #2

Access to Property: Hwy 6

Acreage or Square Footage: 7 Acres Existing Land Use Designation: Self-storage

Proposed Land Use Designation: No change

Existing Zoning: Commercial Proposed Zoning: No change

Proposed Use / Intensity of Use: Self-storage

Submittal Requirements:

- Initially, a completed application with original signatures and four copies shall be submitted to the department for review. The application shall include four sets of 24" x 36" plans, plats and other appropriate drawings. Application must also be submitted in electronic format (MS Word).
- In addition to this application, all information on the supplemental checklist must be submitted.
- Incomplete applications will not be accepted and will delay processing.
- When the documents are deemed adequate, additional copies as required by the department shall be submitted ten (10) days before the public hearing.
- All documents submitted for public hearing shall be hole-punched, collated and paper-clipped (no staples). All plans, plats or drawings shall be folded to 8 1/2" x 11" and inserted into the collated application. Each individual application shall be banded together and ready for public distribution.

STAFF USE ONLY

Pre-app conference: _____ (date)

Application received: _____ (date)

Application complete: _____ (date)

File Number: _____

Fees: _____

Referrals Sent: _____ (date)

Deposits: _____

PZC approval: _____ (date)

Paid: _____ (date)

BOT approval: _____ (date)

RECEIVED JUN 24 2024

Project Team Information (fill in all that apply) (add additional sheets of needed):

Property Owner(s): Name: 510 West Main Storage LLC Phone: 970-355-4080
Company: _____ Fax: _____
Address: 852 Handy Drive Carbondale, CO 81623
Authorized Rep.: Name: Scott Dillard Phone: 970-355-4080
Company: 510 West Main Storage LLC Fax: _____
Address: 852 Handy Drive Carbondale, CO 81623
Engineer/Designer: Name: Crystal River Civil Phone: 970-355-4080
Company: Crystal River Civil Fax: _____
Address: 1101 Village Road UL-3C Carbondale, CO 81623
Billable Party: Owner ☒ Representative _____ Engineer _____

The Billable Party, by signing below, hereby agrees to reimburse the Town the actual costs to the Town plus 15% administrative fees for all engineering, surveying and legal services rendered in connection with the review of the Application. The Billable Party shall also reimburse the Town for the cost of making any corrections or additions to the master copy of the official Town map and for any fees for recording any plats and accompanying documents with the County Clerk and Recorder of Garfield County. The Billable Party agrees that interest shall be imposed at a rate of 1.5% per month on all balances not paid within thirty (30) days of the date of the statement. In addition to any and all remedies available to the Town and in the event the Town is forced to pursue collection of any amounts due and unpaid, the Town shall be entitled to collect attorney's fees and costs incurred in said collection efforts in addition to the amount due and unpaid.

Scott Dillard § _____
Name (printed)
852 Handy Drive Carbondale, CO 81623
Address
970-355-4080
Phone _____ Fax _____
Scott Dillard
Signature

Type of Identification

Disclosure of Property Ownership

- _____ If owner is an individual, indicate name exactly as it appears on the deed.
_____ If owner is a corporation, partnership, limited partnership or other business entity, name principals on a separate page. Please include articles of organization, partnership agreement, etc., as applicable.
_____ If owner is a land trust, name beneficiaries on a separate page.
_____ If applicant is a lessee, indicate the owner(s) on a separate page.
_____ If applicant is a contract purchaser, attach a copy of the contract and indicate the owner(s) on a separate page.

Please provide the name(s), mailing address(es), street address(es) and phone number(s) for all owners.

Property Owner Affidavit

I/We, Scott Dillard, being first duly sworn, depose and state under penalties of perjury that I am (we are) the owner(s) of the property described herein and which is the subject of the application and proposed hearings; that all answers provided to the questions in this application, and all sketches, data and all other supplementary matter attached hereto and made part of this application are honest and true to the best of my (our) knowledge and belief. I (we) understand that this application must be complete and accurate prior to a hearing being scheduled. I (we) authorize Town staff to visit the site as necessary for proper review of this application.

(If there are special conditions such as guard dogs, locked gates, restricted hours, etc., please give the name and phone number of the person(s) who can provide access to the site)

Scott Dillard
Name (printed)

510 West Main Storage LLC

852 Handy Drive
Address

970-355-4080
Phone

Scott Dillard
Fax
Signature

CODL 10-096-0432
Type of Identification

County of Garfield)

State of Colorado)

Sworn to and subscribed before me this 10th day of June, 2024
(fill in day) (fill in month) (fill in year)

By Scott Dillard
(name printed)

Witness my hand and official seal.

[Signature]
Notary Public

My Commission expires: 07/27/25

Name (printed)

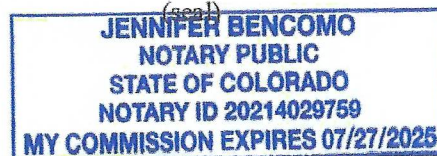
Address

Phone

Fax

Signature

ss.



Authorized Representative

I/We further permit Scott Dillard to act as my/our representative in any manner regarding this application, to answer any questions and to represent me/us at any meeting(s) and public hearing(s) which may be held on this application.

NOTE: All correspondence will be sent to the authorized representative. It will be the representative's responsibility to keep the owner(s) adequately informed as to the status of the application.

Scott Dillard
Name (printed)

852 Handy Drive Carbondale, CO 81623
Address

970-355-4080
Phone

Fax
Scott Dillard
Signature

CODL 10-094-0432
Type of Identification

County of Garfield)

State of Colorado)

ss.

Sworn to and subscribed before me this 10th day of June, 2024.
(fill in day) (fill in month) (fill in year)

By Scott Dillard
(name printed)

Witness my hand and official seal.

Jennifer Bencomo
Notary Public

My Commission expires: 07/27/25



Town of Silt Community Development

231 N. 7th Street, Silt Colorado 81652; (970)876-2353 ext. 108



LAND USE ACTIVITY IMPACT STATEMENT

Name of Applicant: 510 West Main Storage LLC Date: 6-5-24

Location of Property: 510 West Main Street

Land Use Request: Site Plan Revision

Please answer the following questions to the best of your ability. Attach additional pages as needed.

1. Is your request compatible with the Silt Municipal Code? Yes/No

2. Is your request compatible with the Silt Comprehensive Plan? Yes/No

If not, how is your request useful to the Town of Silt?

3. Explain how your request is compatible with the immediate area surrounding the site. Small revision of footprint to account for fire walls

4. How is your request desirable for the Town of Silt?

Town has asked for this

5. Detail any real or possible environmental, town service, or other impacts your request may have.

None

6. Are there or have there ever been any landfills on any part of the property included in your request? Yes/ No

7. Please mark all the concerns or impacts listed below which apply to your request and give a brief statement about how you have addressed them.

- a. ☐ traffic
- b. ☐ town services (water, sewer, etc.)
- c. ☐ signage
- d. ☐ open space
- e. ☐ schools
- f. ☐ emergency services (police, fire, medical)
- g. ☐ other utilities (electrical, etc.)
- h. ☐ other (pollution, etc.)

Please list any other items or information which you feel would be of help in assessing your application.

Silt Jumbo Storage Site Plan Amendment

The requested amendment to the original site plan approval is due to negotiations with the town regarding fire barriers. Originally, at the direction of the fire marshall and prior building official we designed the project with no buildings being over 12,000sf, thus not needing fire barriers. After further feedback from the Town we compromised to having fire barriers every 5,000sf. With this new requirement we needed to do slight modifications to our plan to accommodate this sizing. We did not realize these small changes would trigger an amendment to the site plan approval until we were ready to pick up our permit. These changes will have no effect on the Town of Silt, the project's neighbors, or our day to day operations. Original site plan and the amended site plan are attached in the following pages. Here is an outline of the changes:

Building Changes to Site Plan:

- Combined Building C and Building D into new Building C1/C2 with a fire barrier.
- Increased size of original Building E, changed name to Building D and added a fire barrier.
- Split original Building F into new Building E and F.
- Combined Building G and Building H into new Building G1/G2 with a fire barrier.
- Combined Building J and Building K into new Building I1/I2/I3 with a fire barrier.

Square Foot Change: Net increase of 5,079sf

Approved Site Plan:

OVERALL FLOOR AREA

| | |
|----------------------|------------------|
| BUILDING "A" | 4,900 SF |
| BUILDING "B" | 11,200 SF |
| BUILDING "C" | 3,360 SF |
| BUILDING "D" | 2,800 SF |
| BUILDING "E" | 6,120 SF |
| BUILDING "F" | 7,820 SF |
| BUILDING "G" | 4,480 SF |
| BUILDING "H" | 4,200 SF |
| BUILDING "I" | 8,960 SF |
| BUILDING "J" | 6,400 SF |
| BUILDING "K" | 6,400 SF |
| OVERALL TOTAL | 66,640 SF |

Amended Site Plan:

OVERALL FLOOR AREA

| | |
|----------------------|------------------|
| BUILDING "A" | 4,900 SF |
| BUILDING "B1" | 3,538 SF |
| BUILDING "B2" | 3,400 SF |
| BUILDING "B3" | 4,262 SF |
| BUILDING "C1" | 2,960 SF |
| BUILDING "C2" | 3,494 SF |
| BUILDING "D1" | 2,645 SF |
| BUILDING "D2" | 4,750 SF |
| BUILDING "E" | 4,760 SF |
| BUILDING "F" | 5,100 SF |
| BUILDING "G1" | 4,760 SF |
| BUILDING "G2" | 4,590 SF |
| BUILDING "H1" | 4,343 SF |
| BUILDING "H2" | 4,617 SF |
| BUILDING "I 1" | 4,566 SF |
| BUILDING "I 2" | 4,470 SF |
| BUILDING "I 3" | 4,564 SF |
| OVERALL TOTAL | 71,719 SF |

Water Line:

- After meetings with the Town we were asked to move the water service line further to the West so that the old existing tap would be abandoned, which we've already done.
- Fire Hydrant locations have not changed.
- Water line to be dedicated to the town, per their request, with a 20' easement.
- During planning we added one domestic water hose bib for tenants to have access to water. This single hose bib will be located in a conditioned mechanical room in Building I3.

Lighting:

- There have been no changes to the lighting plan other than the shifting of buildings. At the request of the town we have added the lighting to the landscape plan for your reference. Our goal in lighting is to only light the interior of the project so as to not create any light pollution for our neighbors.

Lot Line Dissolution:

- Although this makes a lot of sense, it was never brought up to us from the Town's prior third party planner. Since we are required to amend the site plan, the Town has asked us to combine the two lots into one, which we have complied with.

Landscaping:

- Very minor changes to landscaping plan due to slight movement of buildings and the addition of a small monument sign at the entrance. Our goal with our landscaping plan is to minimize the visual impacts to our neighbors to the East. Landscaping plan is attached.

Color Palette:

- Color palette has not changed and is attached.

Approved Site Plan



CODE SUMMARY:

PROJECT ADDRESS: 510 W. MAIN STREET
SILT, CO 81652
PARCEL ID: 21700100005
PERMITS: TBD
APPLICABLE CODES:
COMMERCIAL CODE: 2015 IBC
ENERGY CODE: 2015 IECC
PLUMBING CODE: 2015 IPC
MECHANICAL CODE: 2015 IMC
ELECTRICAL CODE: 2015 NEC
FIRE & SAFETY: 2015 IFC
FUEL & GAS CODE: 2015 FGC
SILT MUNICIPAL CODE

PROJECT DESCRIPTION:

GROUND UP PRIVATE STORAGE ON VACANT LOT
TOWN OF SILT MUNICIPAL CODE (TSMC) - SECTION 17.08.026 - FLOOR AREA:
"FLOOR AREA" MEANS THE SUM OF THE HORIZONTAL AREA OF A STRUCTURE, MEASURED AS DESCRIBED IN THE BUILDING CODE ADOPTED BY THE TOWN.

2015 IBC - SECTION 302 DEFINITIONS:
FLOOR AREA GROSS: THE FLOOR AREA WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS OF THE BUILDING UNDER CONSIDERATION, EXCLUSIVE OF RE-ENTRANCES AND COURTS WITHOUT DESIGNATION FOR CORRIDORS, STAIRWAYS, RAMP, CLOSETS, THE THICKNESS OF THE INTERIOR WALLS, COLUMNS OR OTHER FEATURES. THE FLOOR AREA OF A BUILDING, OR PORTION THEREOF, NOT PROVIDED WITH SURROUNDING EXTERIOR WALLS SHALL BE THE USABLE AREA UNDER THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE. THE GROSS FLOOR AREA SHALL NOT INCLUDE SHAFTS WITH NO OPENINGS OR INTERIOR COURTS.

CALCULATION SUMMARY:

GROUND UP PRIVATE STORAGE ON VACANT LOT
TOWN OF SILT MUNICIPAL CODE (TSMC) - SECTION 17.08.026 - FLOOR AREA:
"FLOOR AREA" MEANS THE SUM OF THE HORIZONTAL AREA OF A STRUCTURE, MEASURED AS DESCRIBED IN THE BUILDING CODE ADOPTED BY THE TOWN.

UNUSUAL REQUIREMENTS:

"CONTINGENT UPON SITE PLAN REVIEW AND BUILDING CODE COMPLIANCE - PER TSMC SECTION 17.44.020
ZONING DISTRICT: BUSINESS DISTRICT (B-3)
CURRENT USE: VACANT
NET LOT AREA: 174,240 SF (4 ACRES)
GROSS LOT AREA: 174,240 SF (4 ACRES)
ALLOWABLE FLOOR AREA: "

OVERALL FLOOR AREA:

| | |
|---------------|-----------|
| BUILDING "A" | 4,900 SF |
| BUILDING "B" | 11,200 SF |
| BUILDING "C" | 3,360 SF |
| BUILDING "D" | 2,800 SF |
| BUILDING "E" | 6,120 SF |
| BUILDING "F" | 7,820 SF |
| BUILDING "G" | 4,480 SF |
| BUILDING "H" | 4,200 SF |
| BUILDING "I" | 8,960 SF |
| BUILDING "J" | 6,400 SF |
| BUILDING "K" | 6,400 SF |
| OVERALL TOTAL | 66,640 SF |

MEANS OF EGRESS CODE SUMMARY:

| | |
|------------------------------|---|
| OCCUPANCY TYPE | GROUP S-4: MODERATE-HAZARD STORAGE (NOTE: NON-OCCUPYABLE SPACES) |
| CONSTRUCTION TYPE | TYPE IB |
| SPRINKLER | NONE PER BC TABLE 506.2 - NON SPRINKLED MAX 17,500 SF PER BUILDING |
| MIN. SIZE OF STAIRS | NO STAIRS PROPOSED - AS PER BC 1005.1 (WIDTH BASED ON OCCUPANCY), BUT NOT LESS THAN 36" PER BC 1011.2 EXCEPTION 1 |
| COMMON PATH OF EGRESS TRAVEL | S-1 OCCUPANCY: 110' PER BC TABLE 1006.2.1 |
| MIN. NUMBER OF EXITS | S-1 OCCUPANCY: 1 PER STORY PER BC 1006.2.1 EXCEPTION 1 |
| EXIT ACCESS TRAVEL DISTANCE | S-1 OCCUPANCY: 200'-0" PER BC TABLE 1012.1 |
| MIN. SIZE OF DOORS | S-1 OCCUPANCY: 32" CLEAR PER BC 1010.1.1 |
| EXIT ACCESS TRAVEL DISTANCE | S-1 OCCUPANCY: 200'-0" PER BC TABLE 1012.1 |

ACCESSIBILITY REQUIREMENTS:

| | |
|---|--|
| MIN. NUMBER OF REQUIRED ACCESSIBLE SPACES | 5% (NOT LESS THAN 1) PER BC TABLE 1106.3 |
| BUILDING "A" | 7 SPACES |
| BUILDING "B" | 13 SPACES |
| BUILDING "C" | 8 SPACES |
| BUILDING "D" | 8 SPACES |
| BUILDING "E" | 8 SPACES |
| BUILDING "F" | 10 SPACES |
| BUILDING "G" | 8 SPACES |
| BUILDING "H" | 10 SPACES |
| BUILDING "I" | 14 SPACES |
| BUILDING "J" | 10 SPACES |
| BUILDING "K" | 10 SPACES |
| OVERALL TOTAL | 104 SPACES |

RESTROOM FACILITIES:

PER BC 2003.3 EXCEPTION 2 - THE TOWN OF SILT IS DESIGNATING THIS A "QUICK TRANSACTION" TENANT SPACE



These documents are the property of Focal Studio and are not to be distributed or used for any other purpose without the written consent of Focal Studio. Focal Studio is not responsible for any errors or omissions in these documents. Focal Studio is not responsible for any damages, including consequential damages, arising from the use of these documents. Focal Studio is not responsible for any damages, including consequential damages, arising from the use of these documents.

SILT MEGA STORAGE
510 W. MAIN STREET
SILT, COLORADO 81652

OWNER
CONSULTANT INFO

CLIENT REVIEW, REVISIONS AND APPROVALS:
CLIENT REVIEWER: [Signature]
DATE: [Date]
ARCHITECT TO PREPARE CORRECTIONS AS NOTED



Plot Date: 10/19/2023 5:08:38 PM
Drawn By: [Signature]
Checked By: [Signature]
Project No.: 22011.00

Date: [Date]
Issue / Revision: [Table with 2 columns: Issue, Revision]

SHEET TITLE
SITE PLAN
OVERALL &
CODE ANALYSIS

A1.00

SITE PLAN & CODE ANALYSIS
SCALE: 1" = 40'-0"

Landscape Plan

PLANTING PLAN KEY TREES/SHRUBS ARE WATER WISE

| | |
|-------------------------|---------------------------------|
| EXISTING DECIDUOUS TREE | DRYLAND NATIVE SEED 86,000 s.f. |
| HIGHLAND PARK MAPLE | 1" MINUS DECORATIVE COBBLE |
| SUCK PUNCH CHOKECHERRY | CHEYENNE MOCKORANGE |
| IMPERIAL HONEYLOCUST | NANNYBERRY VIBURNUM |
| AUSTRIAN PINE | PURPLEWHITE FRENCH LILAC |
| MOONGLOW JUNIPER | |

TREE LIST

| ABBV. | BOTANICAL NAME | COMMON NAME | PLANTING SCHEDULE |
|---|--------------------------|-------------|-------------------|
| | | | QTY. SIZE |
| DECIDUOUS TREES (total # of deciduous trees 16) | | | |
| Acer x grandidentatum 'Highland Park' | Highland Park Maple | 5 | 2.0" cal |
| Gleditsia triacanthos (var. 'Imperial') | Imperial Honeylocust | 5 | 2.0" cal |
| Prunus 'Sucker Punch' | Sucker Punch Chokecherry | 6 | 2.0" cal |

EVERGREEN TREES (total # of evergreen trees 12)

| | | | |
|---------------------------------|------------------|---|-----------|
| Juniperus scopulorum 'Moonglow' | Moonglow Juniper | 6 | 5' hgt. |
| Pinus nigra | Austrian Pine | 6 | 7-8' hgt. |

SHRUB LIST

| BOTANICAL NAME | COMMON NAME | PLANTING SCHEDULE |
|----------------------------------|-------------------------|-------------------|
| | | QTY. SIZE |
| Philadelphus lewisii 'Cheyenne' | Cheyenne Mockorange | 12 5 gal |
| Syringa x Blooming 'Dark Purple' | Reblooming Purple Lilac | 16 3" b&b |
| Viburnum lentago | Nannyberry Viburnum | 7 5 gal |

PLANTING NOTES

- IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS, CONTACT THE LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
- VERIFY PLANT COUNTS AND SQUARE FOOTAGES. QUANTITIES ARE PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANT LIST DIFFER FROM GRAPHIC INDICATIONS, THEN GRAPHICS SHALL PREVAIL.
- CONTACT THE LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION.
- PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND IF NECESSARY, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
- PROVIDE MATCHING FORMS AND SIZES FOR PLANT MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.
- SEE IRRIGATION NOTES FOR TYPES OF IRRIGATION.
- CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL.
- SMALL BARK ORGANIC MULCH SHALL BE APPLIED AT A DEPTH OF THREE (3) INCHES, AND AS APPROPRIATE TO EACH SPECIES. SHALL BE APPLIED TO THE SOIL SURFACE, NOT AGAINST THE PLANT STEM OR HIGH AGAINST THE BASE OF TRUNKS TO MINIMIZE DISEASE. MULCH TO BE MIX OF 50% SOIL PER / 50% SMALL NUGGET.

Summary

Project Name: [Blank]

Project Number: [Blank]

Project Location: [Blank]

Project Date: [Blank]

Project Status: [Blank]

Project Manager: [Blank]

Project Engineer: [Blank]

Project Designer: [Blank]

Project Checker: [Blank]

Project Approver: [Blank]

Project Notes: [Blank]

WALL LIGHT

Entry Sign Light

Project Name: [Blank]

Project Number: [Blank]

Project Location: [Blank]

Project Date: [Blank]

Project Status: [Blank]

Project Manager: [Blank]

Project Engineer: [Blank]

Project Designer: [Blank]

Project Checker: [Blank]

Project Approver: [Blank]

Project Notes: [Blank]

ENTRY SIGN LIGHT



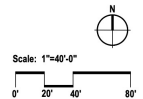
pifon sage
landscape architects
700 redstone ave
carbondale, CO, 81623
devin@pifonsage.com
(970) 379.0816

SILT MEGA STORAGE

US HWY 6 AND 24
SILT, COLORADO

FOR
CONSTRUCTION

LANDSCAPE
PLAN



issue date - 7/10/24
revisions - description - date

drawn - DG
job - 0202

L 1.0

Color Palette





COLORADO

Department of Transportation

Region 3

R3 Traffic Section, Access Unit
222 S. Sixth St, Rm 100
Grand Junction, CO 81501
PH (970) 683-6284 FAX (970) 683-6290

July 24, 2024

Crystal River Civil, LLC
1101 Village Road, Unit UL-3C
Carbondale, Colorado 81623

Re: Extension of Access Permit No. 323033 located in Garfield County on Highway 006D near Mile Reference Pt. 98.458 Left.

Dear Permittee / Applicant:

Your request for a one-year extension of the above-referenced State Highway Access Permit has been approved. This permit, which was originally due to expire on 07-26-2024 has been extended to 07-26-2025.

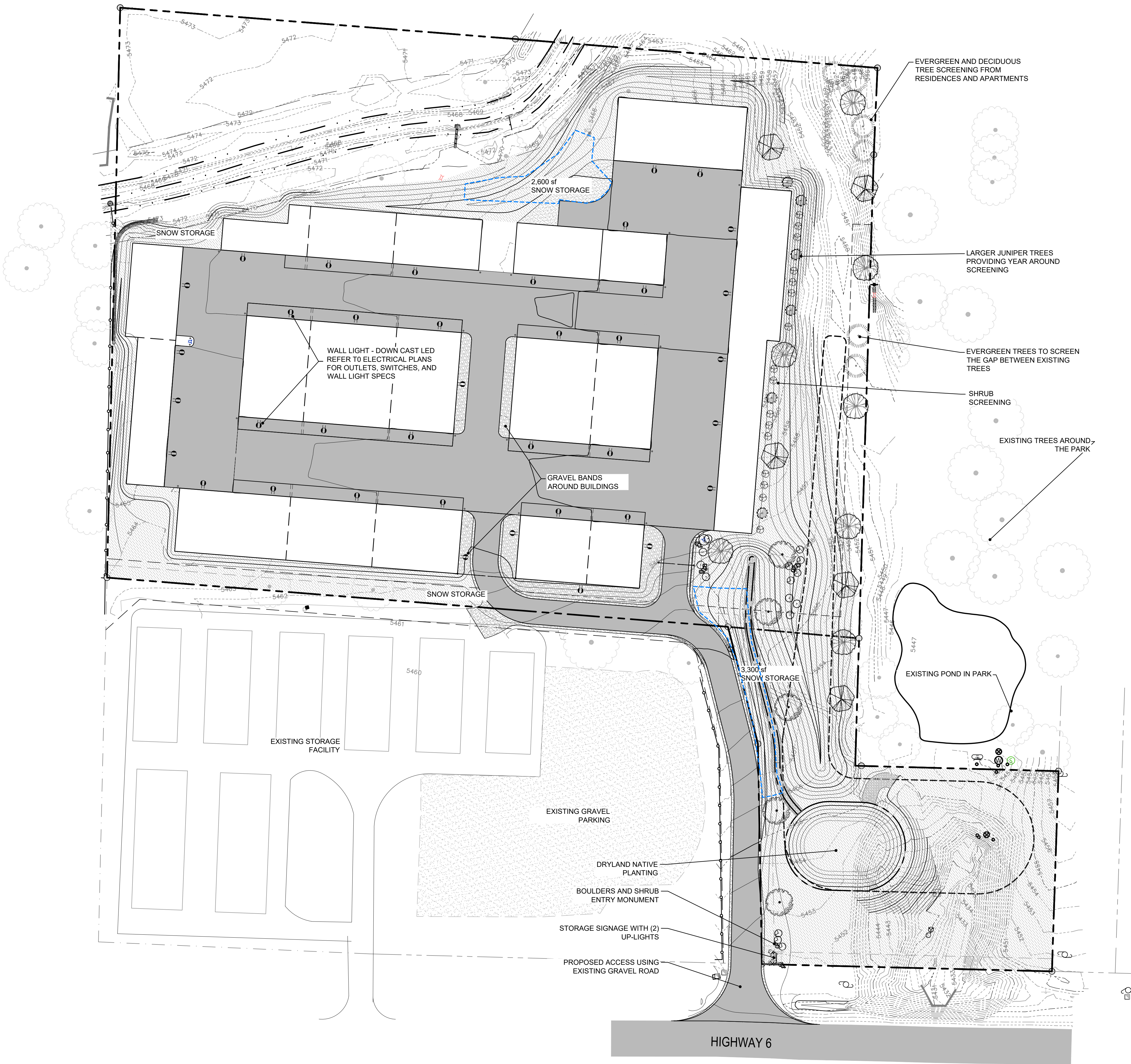
This is the first extension of the permit. Subsection 2.3 (11) (d) of the State Highway Access Code, 2 CCR 601-1 states, in part: “. . . No more than two one-year extensions may be granted under any circumstances. If the access is not under construction within three years from the date of issue, the permit will be considered expired . . .”

A copy of this letter must be attached to the permit and be readily available at the job site when performing work. If you do not have a Notice to Proceed (NTP), please note that CDOT will still need to review construction plans, signing and striping plans, traffic control plans and certificate of insurance prior to construction. Please note that all the original terms and conditions of each permit still apply. If there are any further concerns or questions, please feel free to contact this office at 970-683-6270.

Sincerely,

Kandis Aggen
Region 3 Asst. Access Manager

Cc: File



PLANTING PLAN KEY

EXISTING DECIDUOUS TREE

HIGHLAND PARK MAPLE

SUCKER PUNCH CHOKECHERRY

IMPERIAL HONEYLOCUST

AUSTRIAN PINE

MOONGLOW JUNIPER

DRYLAND NATIVE SEED 86,000 s.f.

1" MINUS DECORATIVE COBBLE

CHEYENNE MOCKORANGE

NANNYBERRY VIBURNAM

PURPLE/WHITE FRENCH LILAC

TREE LIST

| ABBR. | BOTANICAL NAME | COMMON NAME | QTY. | SIZE |
|---|-----------------|--------------------------|------|----------|
| DECIDUOUS TREES (total # of deciduous trees 16) | | | | |
| Acer x grandidentatum | 'Highland Park' | Highland Park Maple | 5 | 2.0" cal |
| Gleditsia triacanthos | 'Imperial' | Imperial Honeylocust | 5 | 2.0" cal |
| Prunus | 'Sucker Punch' | Sucker Punch Chokecherry | 6 | 2.0" cal |

EVERGREEN TREES (total # of evergreen trees 12)

| | | | | |
|----------------------|------------|------------------|---|------------|
| Juniperus scopulorum | 'Moonglow' | Moonglow Juniper | 6 | 5' hgt. |
| Pinus nigra | | Austrian Pine | 6 | 7'-8' hgt. |

SHRUB LIST

| BOTANICAL NAME | COMMON NAME | QTY. | SIZE |
|------------------------------------|-------------------------|------|--------|
| Philadelphus lewisii 'Cheyenne' | Cheyenne Mockorange | 12 | 5 gal |
| Syringa x Bloomerang 'Dark Purple' | Reblooming Purple Lilac | 16 | 3' b&b |
| Viburnum lentago | Nannyberry Viburnum | 7 | 5 gal |

- PLANTING NOTES**
- IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS, CONTACT THE LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
 - VERIFY PLANT COUNTS AND SQUARE FOOTAGES: QUANTITIES ARE PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANT LIST DIFFER FROM GRAPHIC INDICATIONS, THEN GRAPHICS SHALL PREVAIL.
 - CONTACT THE LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION.
 - PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND IF NECESSARY, BY HAND. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
 - PROVIDE MATCHING FORMS AND SIZES FOR PLANT MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.
 - SEE IRRIGATION NOTES FOR TYPES OF IRRIGATION.
 - CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL.
 - SMALL BARK ORGANIC MULCH SHALL BE APPLIED AT A DEPTH OF THREE (3) INCHES, AND AS APPROPRIATE TO EACH SPECIES. SHALL BE APPLIED TO THE SOIL SURFACE, NOT AGAINST THE PLANT STEM OR HIGH AGAINST THE BASE OF TRUNKS TO MINIMIZE DISEASE. MULCH TO BE MIX OF 50% SOIL PEP / 50% SMALL NUGGET.

Product Information

Project:

Type:

Project No.:

Drawn:

Other Info

Size: 1188

Material: 1188

Color: 1188

Weight: 1188

Volume: 1188

Technical Specifications

Material: 1188

Material: 1188

Material: 1188

Material: 1188

Material: 1188

WALL LIGHT

MODUL 1188 | Specification Sheet

Commercial Series - In-Grade - LED

PRODUCT FEATURES

Shape: 1188

Material: 1188

Weight: 1188

Volume: 1188

Color: 1188

| MODEL | FINISH | SIZE | TEMP | LUMENS | VOLTAGE | WATT | DIMMING | ENTRYS | ACC |
|-------|--------|------|------|--------|---------|------|---------|--------|------|
| 1188 | 1188 | 1188 | 1188 | 1188 | 1188 | 1188 | 1188 | 1188 | 1188 |

ORDERING INFORMATION

QUANTITY: 1188

1188

1188

1188

1188

ENTRY SIGN LIGHT

piñon sage
landscape architects
700 redstone ave
carbondale, CO, 81623
devin@pinonsage.com
(970) 379.0816

SILT MEGA STORAGE
US HWY 6 AND 24
SILT, COLORADO
FOR CONSTRUCTION

LANDSCAPE PLAN

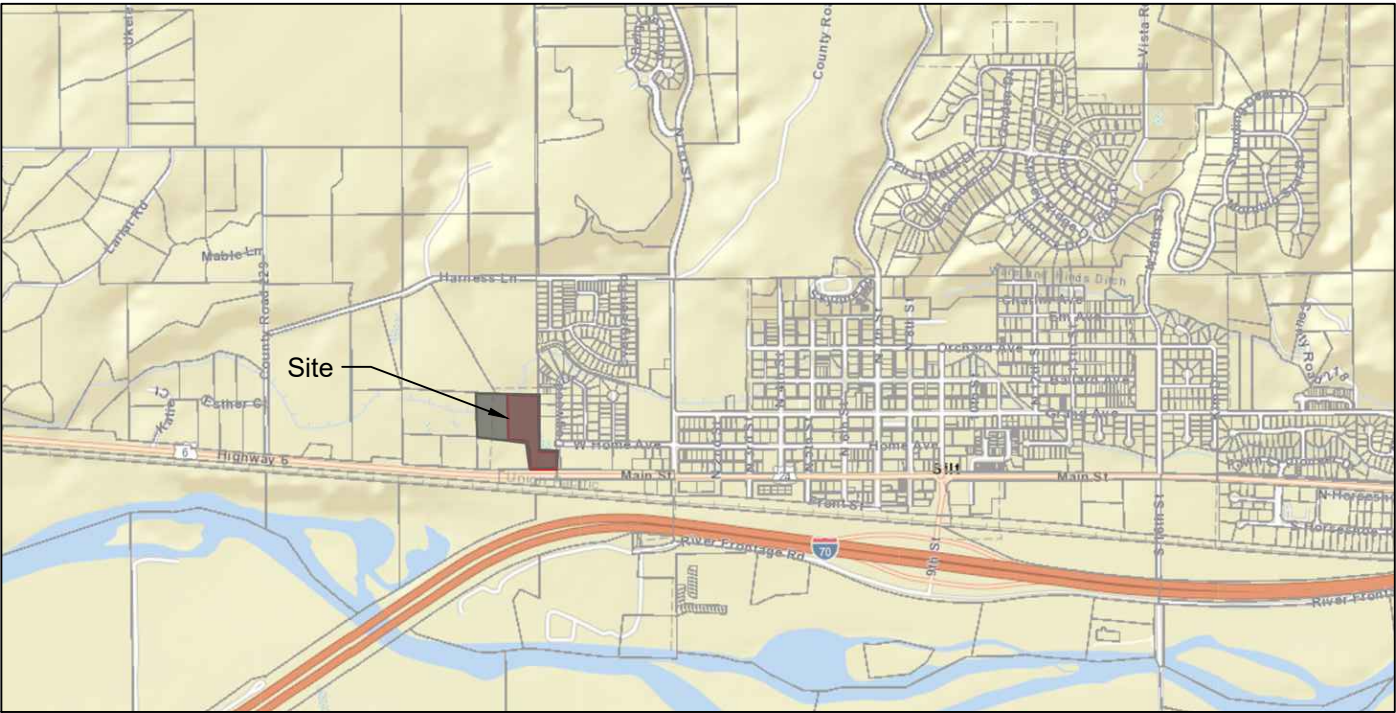
Scale: 1"=40'-0"

0' 20' 40' 80'

| |
|-------------------------------|
| issue date - 7/10/24 |
| revisions - description- date |
| |
| |
| |
| |
| |
| |
| |
| |
| |

drawn - DG
job - 0202

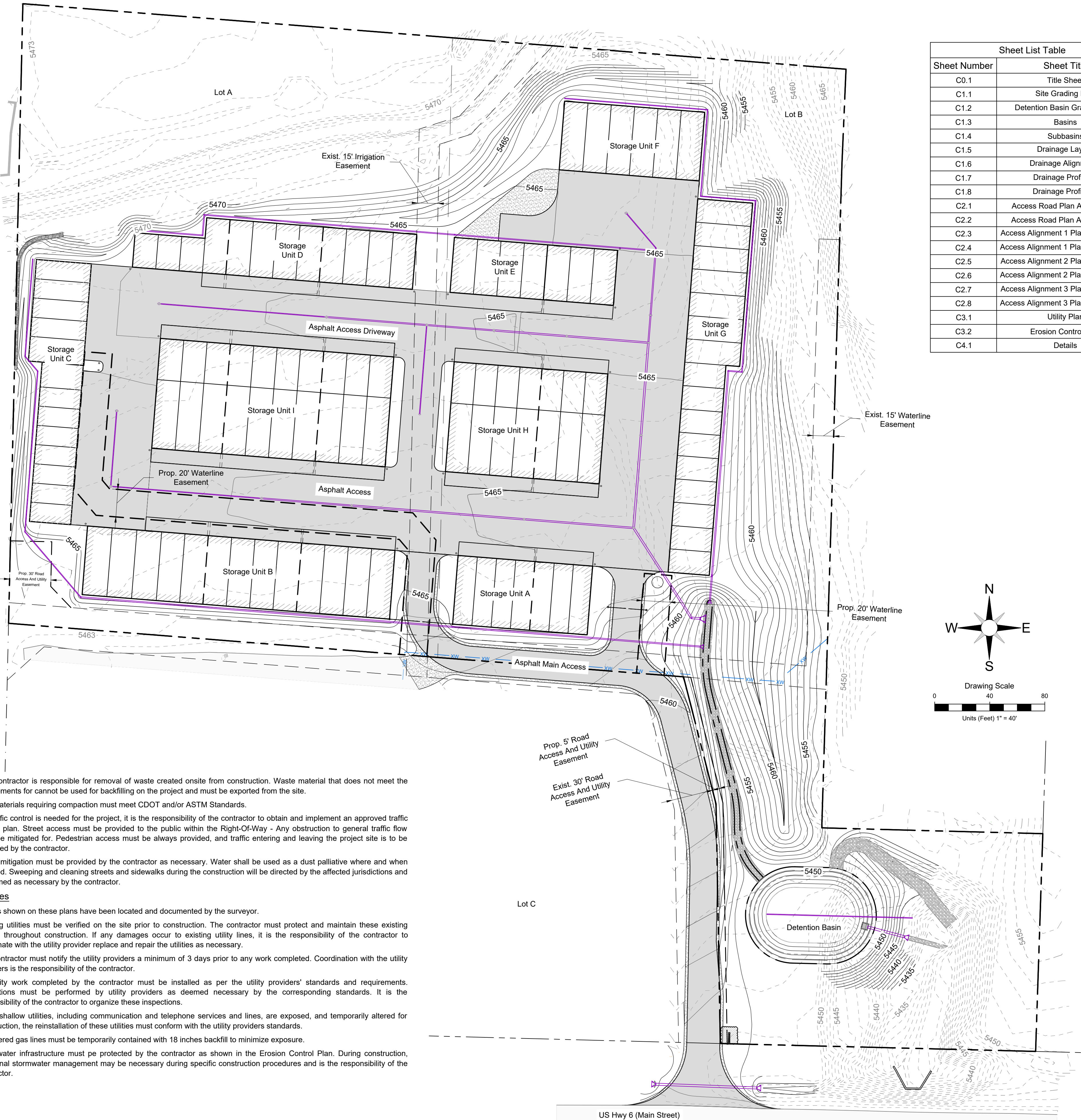
Silt Mega Storage
510 W Main Street (Lots A And B)
Silt, Colorado 81652



Vicinity Map
Not To Scale

| Abbreviations: | |
|----------------|---|
| ASTM | American Society of Testing and Materials |
| Avg | Average |
| Bldg | Building |
| BM | Benchmark |
| BMP | Best Management Practices |
| BOW | Bottom of Wall |
| Con | Concrete |
| Demo | Demolition |
| Dia or Ø | Diameter |
| Dim | Dimension |
| El or Elev | Elevation |
| Ex | Existing |
| FFE | Finished Floor Elevation |
| FL | Flow Line |
| Ft | Foot or Feet |
| Gal | Gallons |
| Horiz | Horizontal |
| Hp | High Point |
| Inv | Invert |
| LF | Linear Feet |
| LP | Low Point |
| Max | Maximum |
| Min | Minimum |
| NTS | Not To Scale |
| Off | Offset |
| PC | Point of Horizontal Tangency |
| PCC | Point of Compound Curve |
| Perf | Perforated |
| PI | Point of Horizontal Tangency |
| Prop | Proposed |
| PVC | Polyvinyl Chloride Pipe |
| Q | Flow Rate |
| RCP | Reinforced Concrete Pipe |
| ROW | Right-Of-Way |
| SF | Square Feet |
| Sta | Station |
| SY | Square Yard |
| TD | Trench Drain |
| TOW | Top of Wall |

| Legend | | |
|-------------------------------|---------------|---------------|
| | Existing | Proposed |
| Communications Line | — XC — XC — | — C — C — C — |
| Concrete / Sidewalk / Patio | — — — | — — — |
| Easement Line | — — — | — — — |
| Edge of Pavement | — — — | — — — |
| Edge of Gravel | — — — | — — — |
| Edge of Water | — — — | — — — |
| Fiber Optic Line | — XFO — XFO — | — FO — FO — |
| Flow Line | — — — | — — — |
| Foundation Drain | — — — | — FD — FD — |
| Gas Line | — XG — XG — | — G — G — G — |
| Gutter Flow Line / Break Line | — — — | — — — |
| Major Contour Line | — — — | — — — |
| Minor Contour Line | — — — | — — — |
| Overhead Electric Line | — XOE — XOE — | — OE — OE — |
| Property Line | — — — | — — — |
| Raw Water Line | — XRW — XRW — | — RW — RW — |
| Sanitary Sewer Line | — XSS — XSS — | — SS — SS — |
| Storm Drain Line | — — — | — — — |
| Telephone Line | — XT — XT — | — T — T — T — |
| Underground Electric Line | — XUE — XUE — | — UE — UE — |
| Water Line | — XW — XW — | — W — W — W — |
| Water Service Line | — XWS — XWS — | — WS — WS — |



| Sheet List Table | |
|------------------|---------------------------------------|
| Sheet Number | Sheet Title |
| C0.1 | Title Sheet |
| C1.1 | Site Grading Plan |
| C1.2 | Detention Basin Grading Plan |
| C1.3 | Basins |
| C1.4 | Subbasins |
| C1.5 | Drainage Layout |
| C1.6 | Drainage Alignments |
| C1.7 | Drainage Profiles 1 |
| C1.8 | Drainage Profiles 2 |
| C2.1 | Access Road Plan And Profile 1 |
| C2.2 | Access Road Plan And Profile 2 |
| C2.3 | Access Alignment 1 Plan And Profile 1 |
| C2.4 | Access Alignment 1 Plan And Profile 2 |
| C2.5 | Access Alignment 2 Plan And Profile 1 |
| C2.6 | Access Alignment 2 Plan And Profile 2 |
| C2.7 | Access Alignment 3 Plan And Profile 1 |
| C2.8 | Access Alignment 3 Plan And Profile 2 |
| C3.1 | Utility Plan |
| C3.2 | Erosion Control Plan |
| C4.1 | Details |

Design Notes

- The design is based on the best available information. This includes but is not limited to site conditions, features and structures, and topographical information. Crystal River Civil is assuming no responsibility for the accuracy of site information.
- If any discrepancies or inaccurate information is found within Crystal River Civils' documents, the affected work should be temporarily put on hold. Contact CRC to verify a solution and hold all work until the necessary alterations have been made.
- No field changes are to occur without written approval of the engineer. If changes are requested and approved, Crystal River Civil will review the change and respond accordingly.

Construction Notes

- All work completed on this project must meet standards set by the project's jurisdictions. This includes but is not limited to HOA standards, city/town standards, county standards, and/or state standards.
- The contractor is required to have a copy of current and approved construction plans. Any standards and specifications necessary for the work must be on site for the duration of the project as well.
- All work must be completed to horizontal and vertical information shown on the plans. If any changes have occurred, Crystal River Civil must verify the alterations prior to receiving approval of completion.
- Construction staking of horizontal and vertical layout is the responsibility of the Contractor. If additional documents, site visits for verification, or alterations are necessary, Crystal River Civil can be hired for construction administration for additional services.
- Property lines, monuments, benchmarks, survey control, and additional historic survey information cannot be removed and cannot be removed for construction. Disturbed survey items are the responsibility of the contractor and must be restored by a state of Colorado licensed land surveyor.
- Work and storage areas must be maintained only onsite. Project construction in Right-Of-Ways, public space, and private property must be approved in writing by the necessary jurisdiction or individual.
- Limits of disturbance, tree protection, and slope protection defined within the plans must be met. Disturbances outside of these extents may require alterations to the design and has implications that are the responsibility of the contractor. If damage shall occur outside of these areas, the site conditions shall be restored to their original state.
- If applicable and a tree removal plan has been developed for the project, it is the responsibility of the contractor to meet the proposed conditions by the approved document. The contractor must not damage, trim, or remove trees and or bushes that are not approved for modification by the tree removal plan. Approval for proceeding with additional tree removal must be approved by Crystal River Civil, the landscape architect, the owner, and/or any stakeholders.

- The Contractor is responsible for removal of waste created onsite from construction. Waste material that does not meet the requirements for cannot be used for backfilling on the project and must be exported from the site.
- All materials requiring compaction must meet CDOT and/or ASTM Standards.
- If traffic control is needed for the project, it is the responsibility of the contractor to obtain and implement an approved traffic control plan. Street access must be provided to the public within the Right-Of-Way - Any obstruction to general traffic flow must be mitigated for. Pedestrian access must be always provided, and traffic entering and leaving the project site is to be observed by the contractor.
- Dust mitigation must be provided by the contractor as necessary. Water shall be used as a dust palliative where and when required. Sweeping and cleaning streets and sidewalks during the construction will be directed by the affected jurisdictions and performed as necessary by the contractor.

Utility Notes

- Utilities shown on these plans have been located and documented by the surveyor.
- Existing utilities must be verified on the site prior to construction. The contractor must protect and maintain these existing utilities throughout construction. If any damages occur to existing utility lines, it is the responsibility of the contractor to coordinate with the utility provider replace and repair the utilities as necessary.
- The contractor must notify the utility providers a minimum of 3 days prior to any work completed. Coordination with the utility providers is the responsibility of the contractor.
- All utility work completed by the contractor must be installed as per the utility providers' standards and requirements. Inspections must be performed by utility providers as deemed necessary by the corresponding standards. It is the responsibility of the contractor to organize these inspections.
- If any shallow utilities, including communication and telephone services and lines, are exposed, and temporarily altered for construction, the reinstallation of these utilities must conform with the utility providers standards.
- Uncovered gas lines must be temporarily contained with 18 inches backfill to minimize exposure.
- Stormwater infrastructure must be protected by the contractor as shown in the Erosion Control Plan. During construction, additional stormwater management may be necessary during specific construction procedures and is the responsibility of the contractor.



1101 Village Road, Unit UL-3C
Carbondale, CO 81623
(970) 510 - 5312

Silt Mega Storage
510 Main Street
Silt, Colorado 81652



Reviewed By
JKE
JKE
JKE
JKE
JKE
JKE
JKE
JKE

Drawn By
VJT
VJT
VJT
VJT
VJT
VJT
VJT
VJT

Date
02/01/2023
05/08/2023
09/27/2023
03/22/2024
03/29/2024
05/20/2024
06/03/2024
07/17/2024

Description
Planning And Zoning Submission
Building Permit Submission
Comment Responses
Change Order #1
Construction Drawings
Storm Pipe Material Update
Water Line Realignment
Drainage Calculation Update
Comment Responses #2

01 02 03 04 05 06 07 08 09

Job #: 22.71
For Construction

Title Sheet

C0.1
Of 20 Pages



1101 Village Road, Unit UL-3C
Carbondale, CO 81623
(970) 510 - 5312

Silt Mega Storage
510 Main Street
Silt, Colorado 81652



Reviewed By
JKE
JKE
JKE
JKE
JKE
JKE
JKE
JKE

Drawn By
VJT
VJT
VJT
VJT
VJT
VJT
VJT
VJT

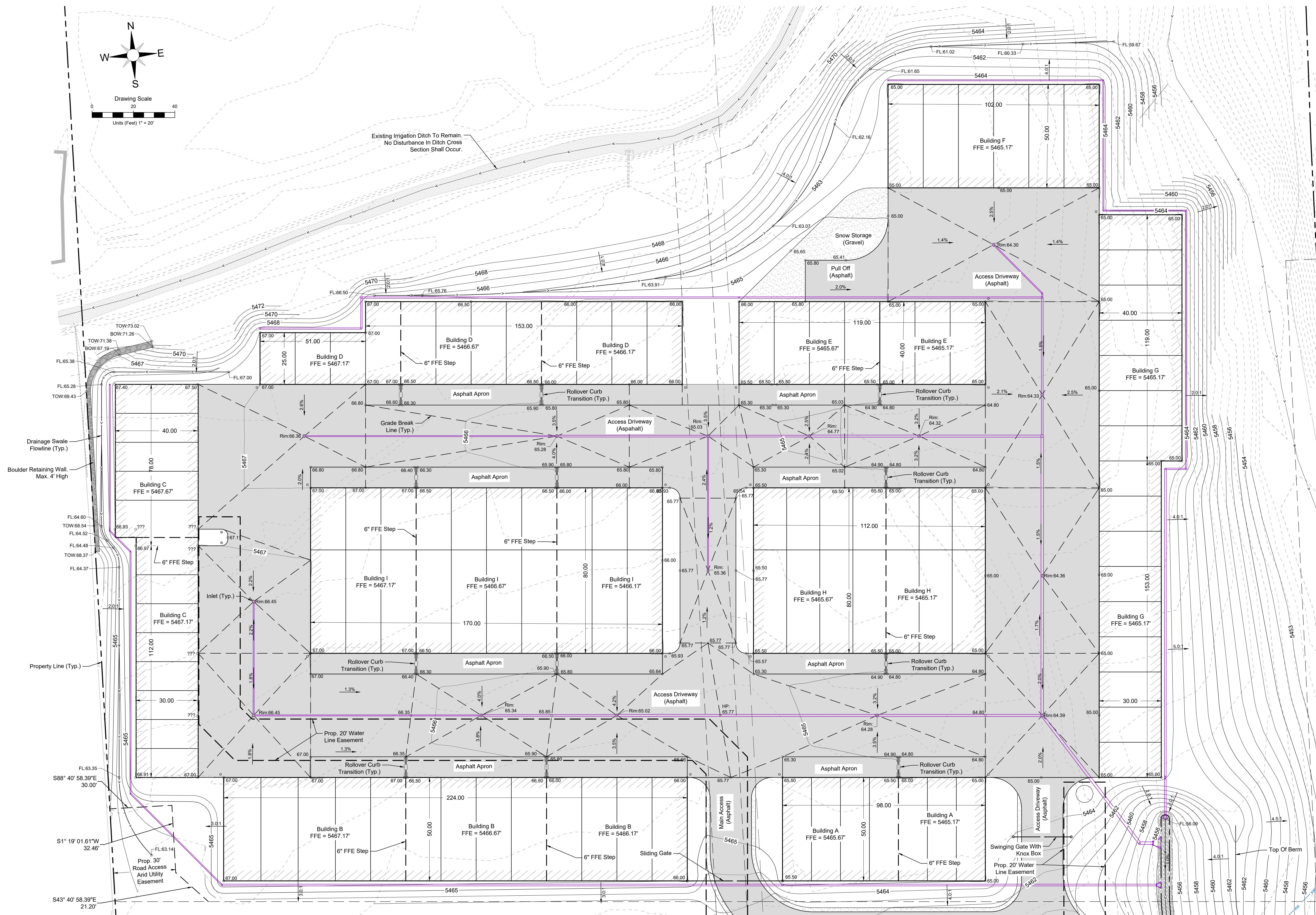
Date
02/01/2023
05/08/2023
09/27/2023
03/22/2024
03/29/2024
05/20/2024
06/03/2024
07/17/2024

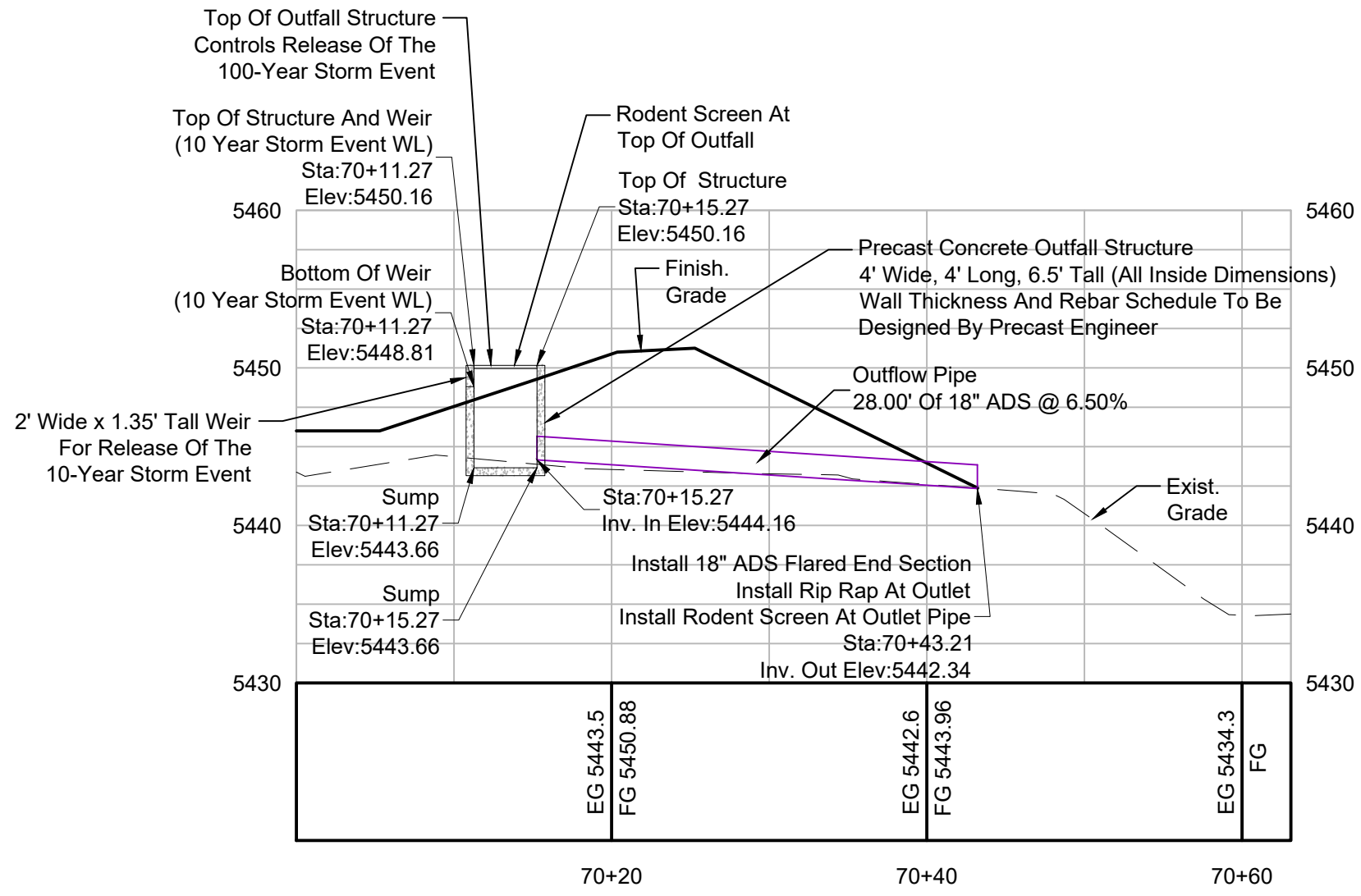
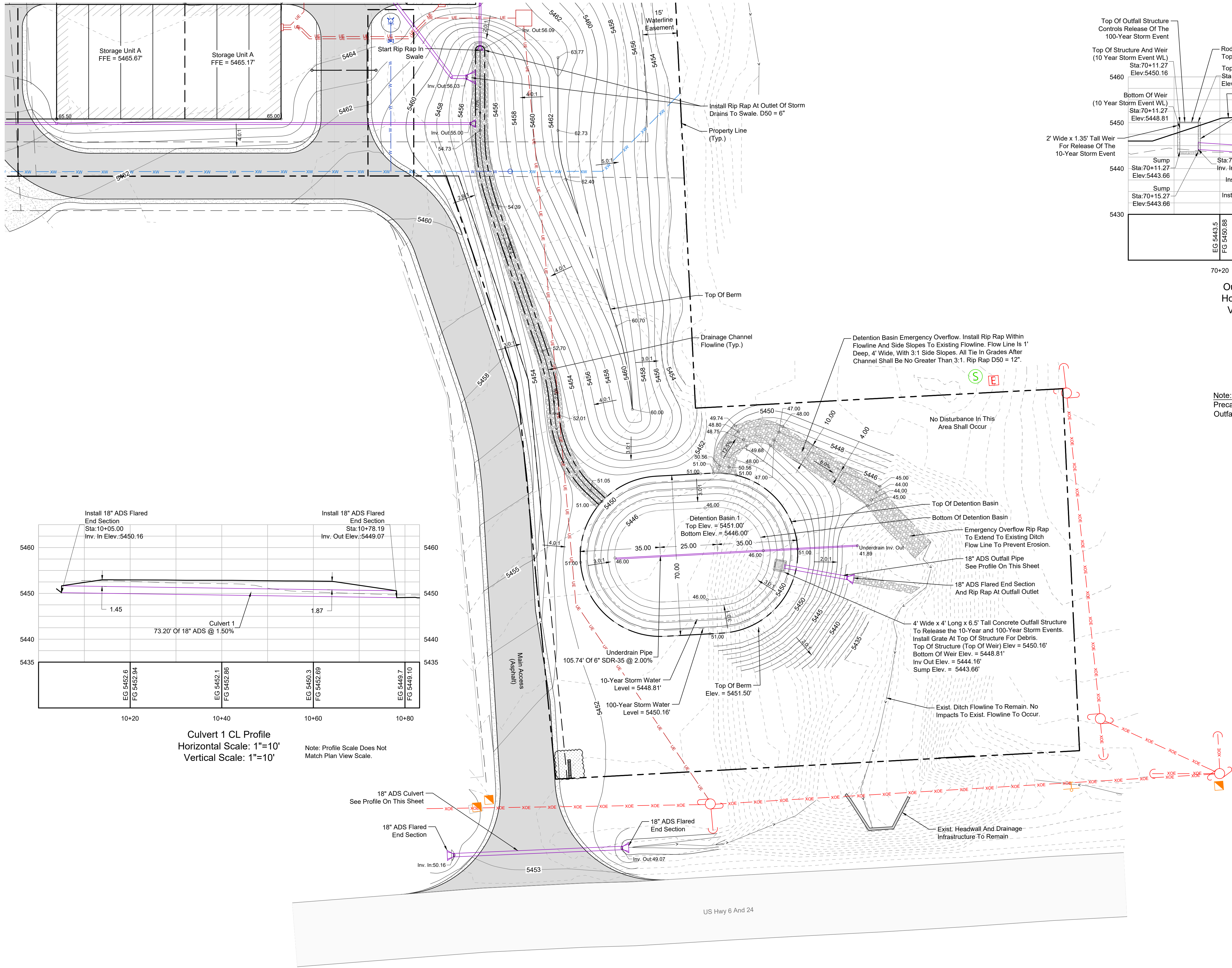
Description
Planning And Zoning Submission
Building Permit Submission
Comment Responses
Change Order #1
Construction Drawings
Storm Pipe Material Update
Water Line Realignment
Drainage Calculation Update
Comment Responses #2

Job #: 22.71
For Construction

Site Grading Plan

C1.1
Of 20 Pages





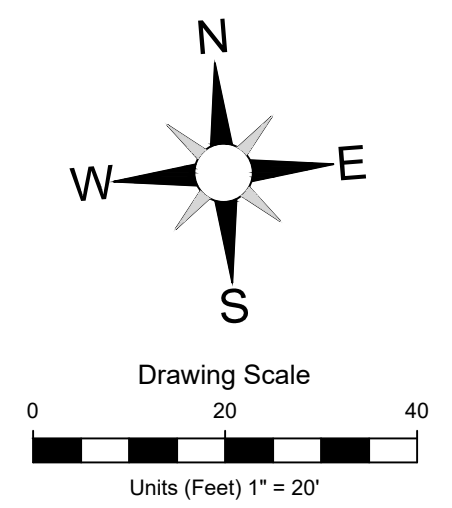
Outfall Structure Profile
Horizontal Scale: 1"=10'
Vertical Scale: 1"=10'

Note: Profile Scale Does Not Match Plan View Scale.

Note: Contractor To Provide Precast Shop Drawings Of Outfall Structure For Approval.

Culvert 1 CL Profile
Horizontal Scale: 1"=10'
Vertical Scale: 1"=10'

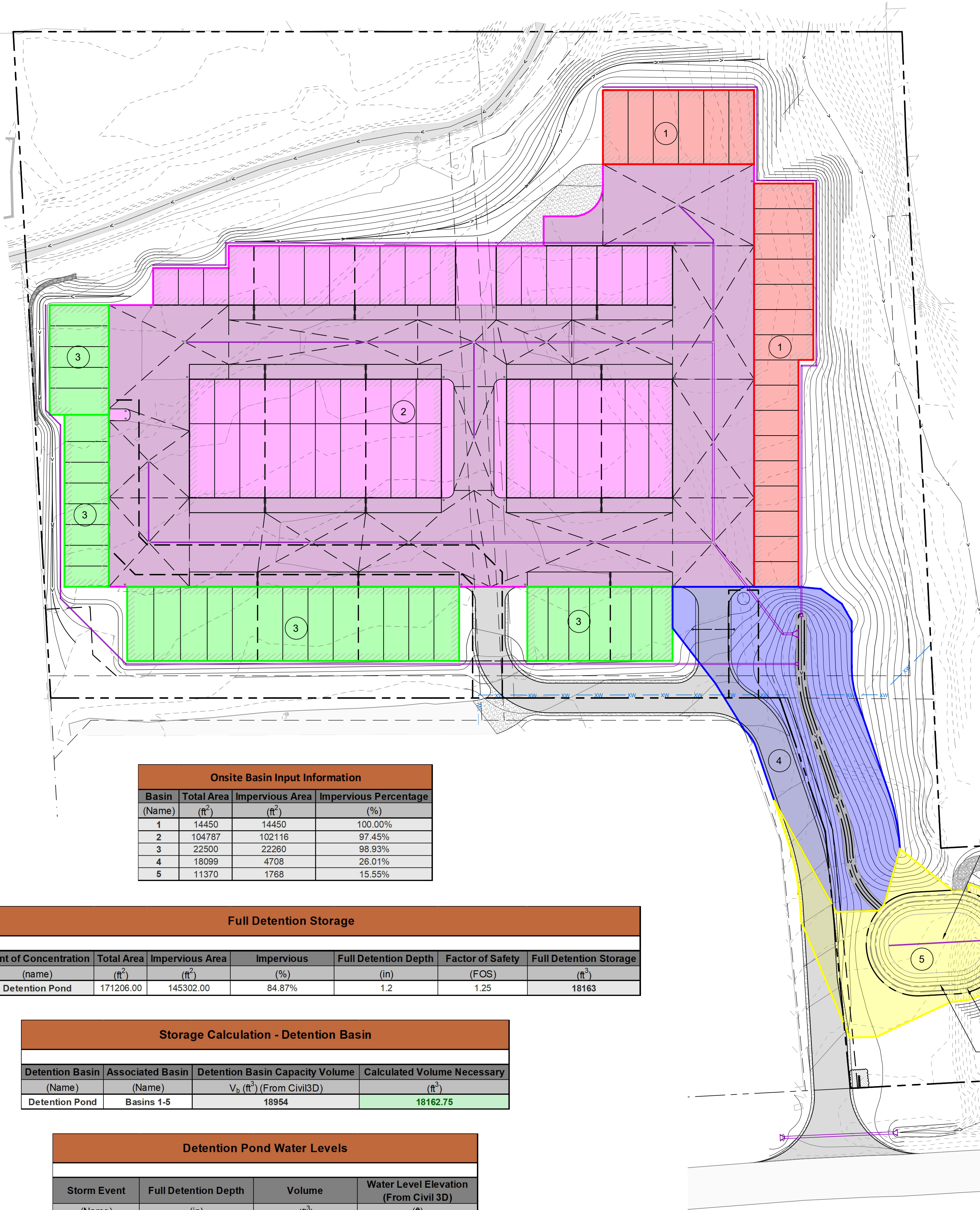
Note: Profile Scale Does Not Match Plan View Scale.



1101 Village Road, Unit UL-3C
Carbondale, CO 81623
(970) 510 - 5312

Silt Mega Storage
510 Main Street
Silt, Colorado 81652

| | |
|------------------------------|--|
| Reviewed By | JKE JKE JKE JKE JKE JKE JKE |
| Drawn By | VJT VJT VJT VJT VJT VJT VJT |
| Date | 02/01/2023 05/08/2023 09/27/2023 03/22/2024 03/29/2024 05/20/2024 06/03/2024 07/17/2024 |
| Description | Planning And Zoning Submission Building Permit Submission Comment Responses Change Order #1 Construction Drawings Storm Pipe Material Update Water Line Realignment Drainage Calculation Update Comment Responses #2 |
| # | 01 02 03 04 05 06 07 08 09 |
| Job #: | 22.71 |
| For | Construction |
| Detention Basin Grading Plan | |
| C1.2 Of 20 Pages | |



| Onsite Basin Input Information | | | |
|--------------------------------|-------------------------------|------------------------------------|---------------------------|
| Basin (Name) | Total Area (ft ²) | Impervious Area (ft ²) | Impervious Percentage (%) |
| 1 | 14450 | 14450 | 100.00% |
| 2 | 104787 | 102116 | 97.45% |
| 3 | 22500 | 22260 | 98.93% |
| 4 | 18099 | 4708 | 26.01% |
| 5 | 11370 | 1768 | 15.55% |

| Full Detention Storage | | | | | | | |
|------------------------|-------------------------------|-------------------------------|------------------------------------|----------------|---------------------------|------------------------|---|
| Basin (Name) | Point of Concentration (name) | Total Area (ft ²) | Impervious Area (ft ²) | Impervious (%) | Full Detention Depth (in) | Factor of Safety (FOS) | Full Detention Storage (ft ³) |
| 1-5 | Detention Pond | 171206.00 | 145302.00 | 84.87% | 1.2 | 1.25 | 18163 |

| Storage Calculation - Detention Basin | | | |
|---------------------------------------|-------------------------|--|--|
| Detention Basin (Name) | Associated Basin (Name) | Detention Basin Capacity Volume V _b (ft ³) (From Civil3D) | Calculated Volume Necessary (ft ³) |
| Detention Pond | Basins 1-5 | 18954 | 18162.75 |

| Detention Pond Water Levels | | | |
|-----------------------------|---------------------------|---------------------------|--|
| Storm Event (Name) | Full Detention Depth (in) | Volume (ft ³) | Water Level Elevation (From Civil 3D) (ft) |
| 10-Year, 1-Hour | 0.709 | 8584.9265 | 5448.81' |
| 100-Year, 1-Hour | 1.2 | 14530.2 | 5450.16' |

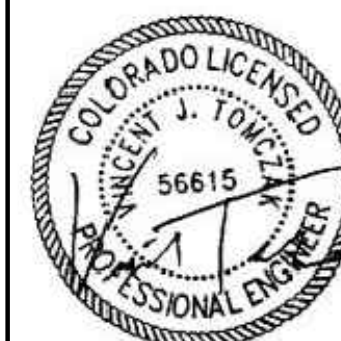
| 10-Year 1-Hour Onsite Peak Discharge Calculations | | | | | | | |
|---|----------------------|----------------------|------------------------------------|-------------------|---|---------------------|--------------------------|
| | | Soil Class | C | Intensity (in/hr) | $I = \frac{41.474}{(10.3 + T_c)^{0.958}}$ | Discharge (ft³/Sec) | Q=CI A _t |
| Note: For basins with an overland flow length of less than 500 feet, a Time of Concentration is assumed at 5 minutes. These calculations are assuming a NRCS Hydrologic Soil Class C. Rainfall depth values derived from NOAA Atlas 14 data. Intensity equation has been derived from the Aspen area NOAA Atlas 14 IDF Curve. | | | | | | | |
| Predeveloped Conditions | | | | | | | |
| Basin | Total Area | Impervious Area | Percent Impervious | C Value | Time of Concentration | Intensity | Peak Discharge |
| (Name) | A _t (ft²) | A _i (ft²) | A _i /A _t (%) | | T _c (min) | I (in/hr) | Q _p (ft³/sec) |
| 1 | 14450 | 0 | 0.00% | 0.130 | 5 | 3.04 | 0.13 |
| 2 | 104787 | 0 | 0.00% | 0.130 | 5 | 3.04 | 0.95 |
| 3 | 22500 | 0 | 0.00% | 0.130 | 5 | 3.04 | 0.20 |
| 4 | 18099 | 0 | 0.00% | 0.130 | 5 | 3.04 | 0.16 |
| 5 | 11370 | 0 | 0.00% | 0.130 | 5 | 3.04 | 0.10 |
| Combined | 171206 | 0 | 0.00% | 0.130 | 5 | 3.04 | 1.55 |
| Developed Conditions | | | | | | | |
| Basin | Total Area | Impervious Area | Percent Impervious | C Value | Time of Concentration | Intensity | Peak Discharge |
| (Name) | A _t (ft²) | A _i (ft²) | A _i /A _t (%) | | T _c (min) | I (in/hr) | Q _p (ft³/sec) |
| 1 | 14450 | 14450 | 100.00% | 0.870 | 5 | 3.04 | 0.88 |
| 2 | 104787 | 102116 | 97.45% | 0.830 | 5 | 3.04 | 6.07 |
| 3 | 22500 | 22260 | 98.93% | 0.830 | 5 | 3.04 | 1.30 |
| 4 | 18099 | 4708 | 26.01% | 0.320 | 5 | 3.04 | 0.40 |
| 5 | 11370 | 1768 | 15.55% | 0.240 | 5 | 3.04 | 0.19 |
| Combined | 171206 | 145302 | 84.87% | 0.720 | 5 | 3.04 | 8.60 |

| 100-Year 1-Hour Onsite Peak Discharge Calculations | | | | | | | |
|---|-----------------------------|-----------------------------|--------------------------------------|-------------------|---|---------------------|---------------------------------|
| | | Soil Class | C | Intensity (in/hr) | $I = \frac{96.058}{(11.4 + T_c)^{1.027}}$ | Discharge (ft³/Sec) | Q=CI <i>A</i> _t |
| Note: For basins with an overland flow length of less than 500 feet, a Time of Concentration is assumed at 5 minutes. These calculations are assuming a NRCS Hydrologic Soil Class C. Rainfall depth values derived from NOAA Atlas 14 data. Intensity equation has been derived from the Aspen area NOAA Atlas 14 IDF Curve. | | | | | | | |
| Predeveloped Conditions | | | | | | | |
| Basin | Total Area | Impervious Area | Percent Impervious | C Value | Time of Concentration | Intensity | Peak Discharge |
| (Name) | <i>A</i> _t (ft²) | <i>A</i> _i (ft²) | <i>A</i> / <i>A</i> _t (%) | | <i>T</i> _c (min) | <i>I</i> (in/hr) | <i>Q</i> _p (ft³/sec) |
| 1 | 14450 | 0 | 0.00% | 0.480 | 5 | 5.43 | 0.86 |
| 2 | 104787 | 0 | 0.00% | 0.480 | 5 | 5.43 | 6.27 |
| 3 | 22500 | 0 | 0.00% | 0.480 | 5 | 5.43 | 1.35 |
| 4 | 18099 | 0 | 0.00% | 0.480 | 5 | 5.43 | 1.08 |
| 5 | 11370 | 0 | 0.00% | 0.480 | 5 | 5.43 | 0.68 |
| Combined | 171206 | 0 | 0.00% | 0.480 | 5 | 5.43 | 10.25 |
| Developed Conditions | | | | | | | |
| Basin | Total Area | Impervious Area | Percent Impervious | C Value | Time of Concentration | Intensity | Peak Discharge |
| (Name) | <i>A</i> _t (ft²) | <i>A</i> _i (ft²) | <i>A</i> / <i>A</i> _t (%) | | <i>T</i> _c (min) | <i>I</i> (in/hr) | <i>Q</i> _p (ft³/sec) |
| 1 | 14450 | 14450 | 100.00% | 0.890 | 5 | 5.43 | 1.60 |
| 2 | 104787 | 102116 | 97.45% | 0.870 | 5 | 5.43 | 11.37 |
| 3 | 22500 | 22260 | 98.93% | 0.870 | 5 | 5.43 | 2.44 |
| 4 | 18099 | 4708 | 26.01% | 0.590 | 5 | 5.43 | 1.33 |
| 5 | 11370 | 1768 | 15.55% | 0.550 | 5 | 5.43 | 0.78 |
| Combined | 171206 | 145302 | 84.87% | 0.810 | 5 | 5.43 | 17.29 |



1101 Village Road, Unit UL-3C
Carbondale, CO 81623
(970) 510 - 5312

Silt Mega Storage
510 Main Street
Silt, Colorado 81652



Reviewed By
JKE
JKE
JKE
JKE
JKE
JKE
JKE
JKE

Drawn By
VJT
VJT
VJT
VJT
VJT
VJT
VJT
VJT

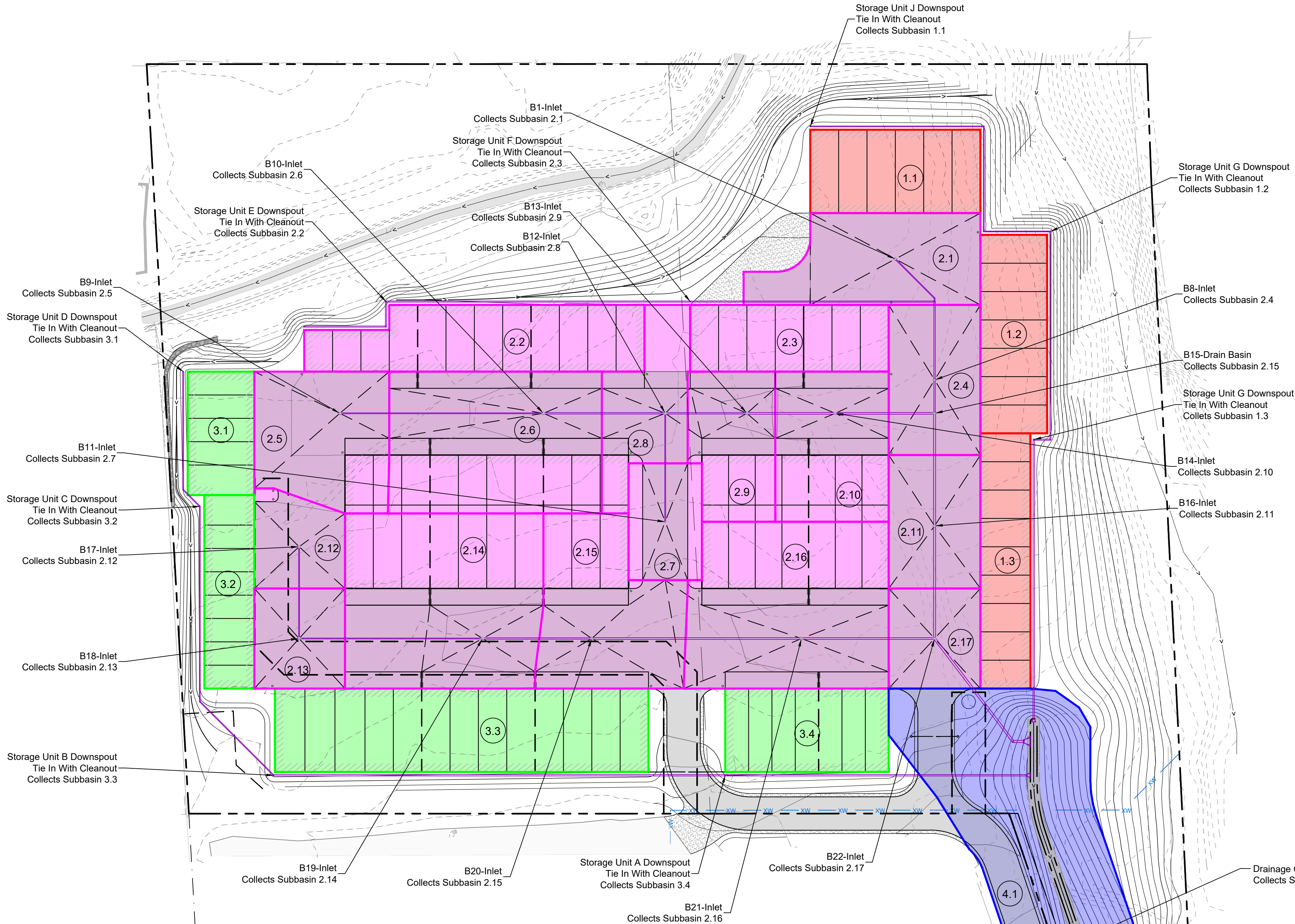
Date
02.01.2023
05.08.2023
09.27.2023
03.22.2024
03.29.2024
05.20.2024
06.03.2024
07.17.2024

Description
Planning And Zoning Submission
Building Permit Submission
Comment Responses
Change Order #1
Construction Drawings
Storm Pipe Material Update
Water Line Realignment
Drainage Calculation Update
Comment Responses #2

01 02 03 04 05 06 07 08 09

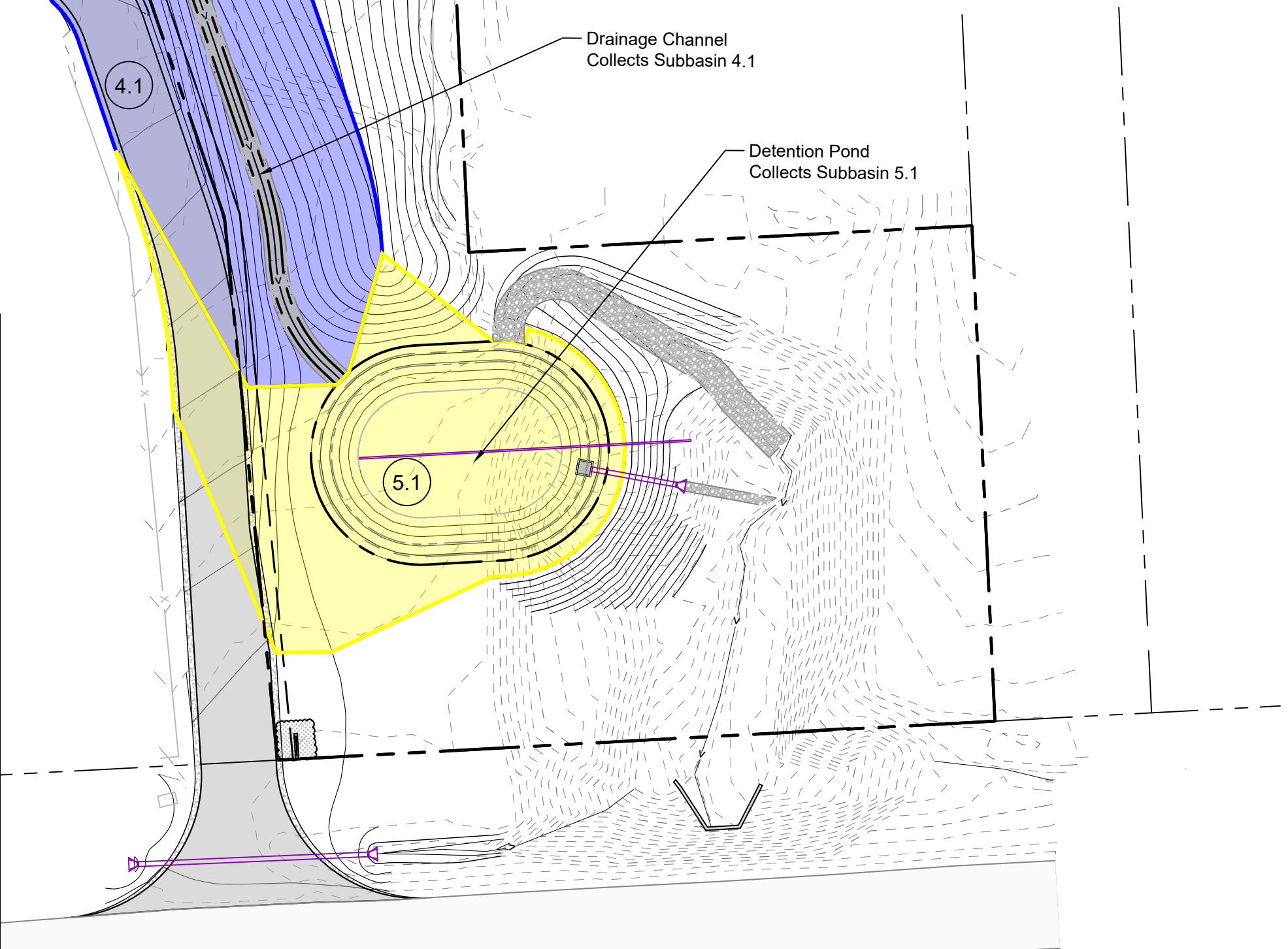
Job #: 22.71
For Construction

Basins
C1.3
Of 20 Pages



| Round Inlet Capacity Calculation | | | | | | |
|--|---|--|---|--|---|--|
| Effective Inlet Area, A_e (ft ²) | $A_e = (1 - C_g) \left(\pi \left(\frac{D_e}{2} \right)^2 \right) m$ | Inlet Orifice Capacity, Q_o (ft ³ /s) | $Q_o = C_o A_e \sqrt{2gY_s}$ | Weir Flow Capacity, Q_w (ft ³ /s) | $Q_w = C_w P_e Y_s^{1.5}$ | |
| Orifice Coefficient, C_o | 0.65 | Clogging Factor, C_g | 0.5 | Area Opening Capacity Ratio, m | 0.6 | |
| Weir Coefficient, C_w | 3 | Water Depth Above Inlet, Y_s (ft) | 0.25 | Effective Weir Length, P_e (ft) | $P_e = (1 - C_g) P$ | |
| Inlet (Name) | Associated Subbasin (Name) | Inlet Diameter D_e (in) | Effective Inlet Area A_e (ft ²) | Orifice Flow Capacity Q_o (ft ³ /s) | Weir Flow Capacity Q_w (ft ³ /s) | Subbasin Flow Q (ft ³ /s) |
| B1-Inlet | 2.1 | 15 | 0.37 | 0.96 | 1.47 | 0.72 |
| B8-Inlet | 2.4 | 15 | 0.37 | 0.96 | 1.47 | 0.55 |
| B9-Inlet | 2.5 | 18 | 0.53 | 1.38 | 1.77 | 0.71 |
| B10-Inlet | 2.6 | 18 | 0.53 | 1.38 | 1.77 | 1.20 |
| B11-Inlet | 2.7 | 15 | 0.37 | 0.96 | 1.47 | 0.28 |
| B12-Inlet | 2.8 | 18 | 0.53 | 1.38 | 1.77 | 0.42 |
| B13-Inlet | 2.9 | 18 | 0.53 | 1.38 | 1.77 | 0.48 |
| B14-Inlet | 2.10 | 18 | 0.53 | 1.38 | 1.77 | 0.68 |
| B16-Inlet | 2.11 | 24 | 0.94 | 2.46 | 2.36 | 0.49 |
| B17-Inlet | 2.12 | 15 | 0.37 | 0.96 | 1.47 | 0.32 |
| B18-Inlet | 2.13 | 18 | 0.53 | 1.38 | 1.77 | 0.37 |
| B19-Inlet | 2.14 | 18 | 0.53 | 1.38 | 1.77 | 1.37 |
| B20-Inlet | 2.15 | 18 | 0.53 | 1.38 | 1.77 | 0.84 |
| B21-Inlet | 2.16 | 18 | 0.53 | 1.38 | 1.77 | 1.28 |
| B22-Inlet | 2.17 | 24 | 0.94 | 2.46 | 2.36 | 0.37 |

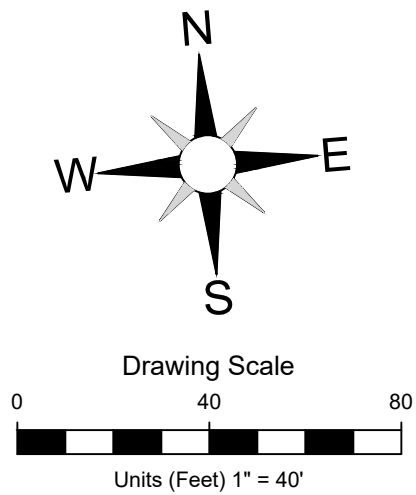
| Pipe Capacity Calculations | | | | | | | |
|--|-----------------------------|---|--|---|--|---|--|
| Pipe Sectional Area (ft) | $A_p = \pi \frac{D_p^2}{4}$ | PVC Manning Coefficient, n | PVC (4"-12") = 0.01 ADS (15"-24") = 0.012 | Mannings Equation (ft³/s) | $Q_c = \left(\frac{1.49}{n} \right) A_p \left(\frac{D_p}{48} \right)^{2/3} \sqrt{S}$ | | |
| Note: Pipe Flow Rate (Q _p) is the summation of the flow rates from the the collected sub basins through each pipe, or Q _s . | | | | | | | |
| Pipe (Name) | Collected Sub Basins (#) | Pipe Flow Rate Q _p (ft³/sec) | Slope S (%) | Prop. Pipe Diameter D _p (in) | Pipe Sectional Area A _p (ft²) | Pipe Max Flow Rate Q _c (ft³/s) | Percent of Capacity Q _p /Q _c (%) |
| A1 | 1.1 | 0.57 | 1.00% | 6 | 0.196 | 0.731 | 0.77 |
| A2 | 1.1 | 0.57 | 1.00% | 6 | 0.196 | 0.731 | 0.77 |
| A3 | 1.1 | 0.57 | 1.00% | 6 | 0.196 | 0.731 | 0.77 |
| A4 | 1.1-1.2 | 1.09 | 1.00% | 8 | 0.349 | 1.574 | 0.69 |
| A5 | 1.1-1.2 | 1.09 | 1.00% | 8 | 0.349 | 1.574 | 0.69 |
| A6 | 1.1-1.3 | 1.60 | 1.00% | 10 | 0.545 | 2.855 | 0.56 |
| A7 | 1.1-1.3 | 1.60 | 1.00% | 10 | 0.545 | 2.855 | 0.56 |
| B1 | 2.1 | 0.72 | 1.00% | 6 | 0.196 | 0.731 | 0.99 |
| B2 | 2.1 | 0.72 | 1.00% | 6 | 0.196 | 0.731 | 0.99 |
| B3 | 2.2 | 0.82 | 1.00% | 8 | 0.349 | 1.574 | 0.52 |
| B4 | 2.2 | 0.82 | 1.00% | 8 | 0.349 | 1.574 | 0.52 |
| B5 | 2.2 | 0.82 | 1.00% | 8 | 0.349 | 1.574 | 0.52 |
| B6 | 2.2-2.3 | 1.35 | 1.00% | 8 | 0.349 | 1.574 | 0.86 |
| B7 | 2.1-2.3 | 2.07 | 1.00% | 10 | 0.545 | 2.855 | 0.72 |
| B8 | 2.1-2.4 | 2.62 | 1.00% | 10 | 0.545 | 2.855 | 0.92 |
| B9 | 2.5 | 0.71 | 1.00% | 6 | 0.196 | 0.731 | 0.97 |
| B10 | 2.5-2.6 | 1.92 | 1.00% | 10 | 0.545 | 2.855 | 0.67 |
| B11 | 2.7 | 0.28 | 1.00% | 6 | 0.196 | 0.731 | 0.38 |
| B12 | 2.5-2.8 | 2.62 | 1.00% | 10 | 0.545 | 2.855 | 0.92 |
| B13 | 2.5-2.9 | 3.10 | 1.00% | 12 | 0.785 | 4.642 | 0.67 |
| B14 | 2.5-2.10 | 3.78 | 1.00% | 12 | 0.785 | 4.642 | 0.81 |
| B15 | 2.1-2.10 | 6.40 | 1.00% | 15 | 1.227 | 7.013 | 0.91 |
| B16 | 2.1-2.11 | 6.89 | 1.00% | 15 | 1.227 | 7.013 | 0.98 |
| B17 | 2.12 | 0.32 | 1.00% | 6 | 0.196 | 0.731 | 0.43 |
| B18 | 2.12-2.13 | 0.68 | 1.00% | 6 | 0.196 | 0.731 | 0.93 |
| B19 | 2.12-2.14 | 2.05 | 1.00% | 10 | 0.545 | 2.855 | 0.72 |
| B20 | 2.12-2.15 | 2.89 | 1.00% | 12 | 0.785 | 4.642 | 0.62 |
| B21 | 2.12-2.16 | 4.17 | 1.00% | 12 | 0.785 | 4.642 | 0.90 |
| B22 | 2.1-2.17 | 11.43 | 3.00% | 15 | 1.227 | 12.148 | 0.94 |
| B23 | 2.1-2.17 | 11.43 | 3.00% | 15 | 1.227 | 12.148 | 0.94 |
| C1 | 3.1 | 0.31 | 1.00% | 6 | 0.196 | 0.731 | 0.43 |
| C2 | 3.1 | 0.31 | 1.00% | 6 | 0.196 | 0.731 | 0.43 |
| C3 | 3.1-3.2 | 0.69 | 1.00% | 6 | 0.196 | 0.731 | 0.95 |
| C4 | 3.1-3.2 | 0.69 | 1.00% | 6 | 0.196 | 0.731 | 0.95 |
| C5 | 3.1-3.3 | 1.94 | 1.00% | 10 | 0.545 | 2.855 | 0.68 |
| C6 | 3.1-3.4 | 2.48 | 1.44% | 10 | 0.545 | 3.425 | 0.72 |
| Outfall | Basins 1-5 | 17.29 | 6.50% | 18 | 1.766 | 29.076 | 0.59 |



Notes:

1. Not All Downspouts Are Shown In Respect To Architectural Layout. Drain Lines Are Located At Low Points In The Roof Gutter System To Tie Into. Refer To Architectural Drawings For Accurate Number Of Downspouts On Each Structure.

2. Refer To The Drainage Report Submitted With This Building Permit Drawing Set For Pipe Conveyance Calculations.

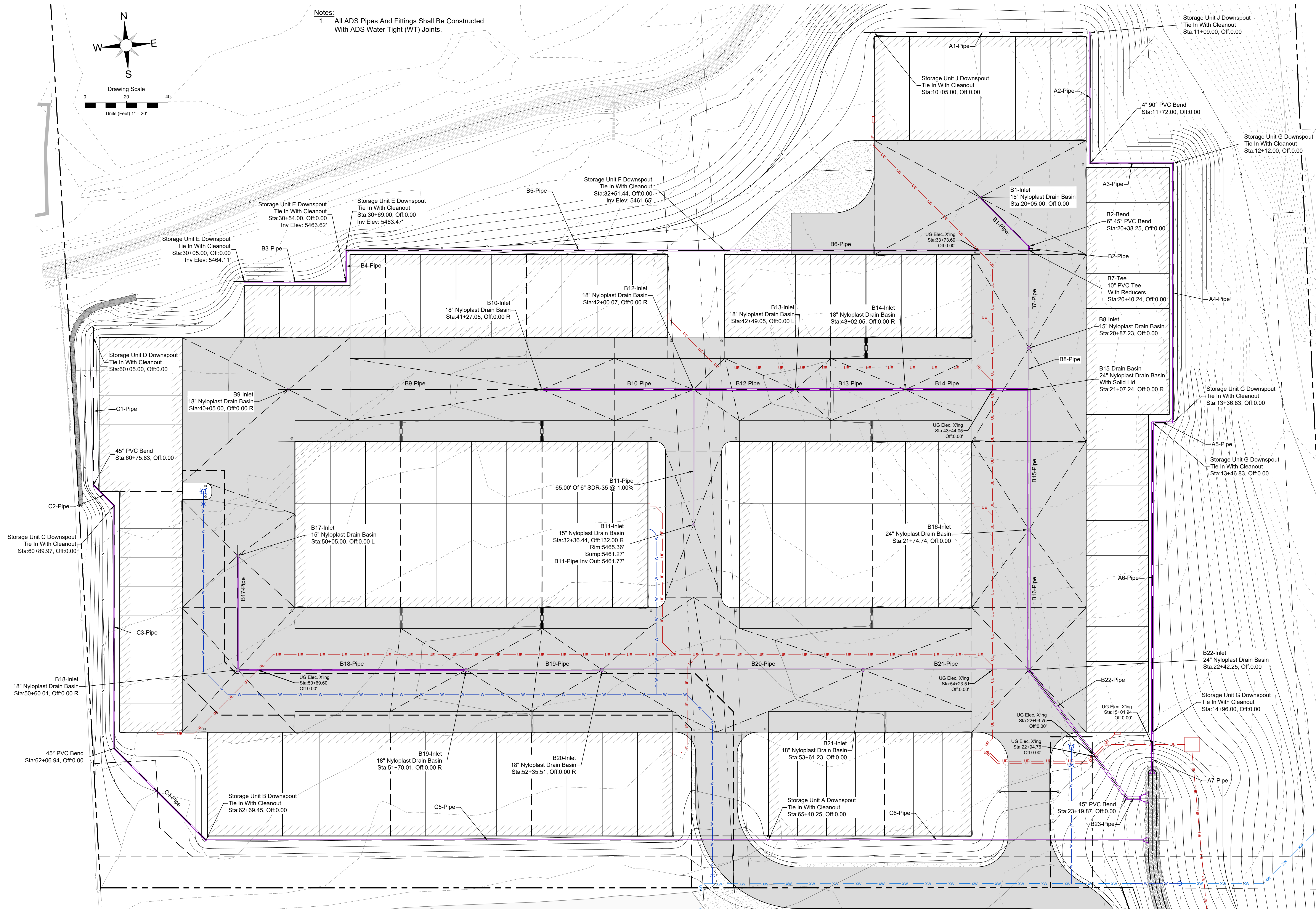


| | |
|-------------|-----|
| Reviewed By | JKE |
| JKE | |
| JKE | |
| JKE | |
| JKE | |
| JKE | |
| JKE | |

| | |
|----------|-----|
| Drawn By | VJT |
| VJT | |
| VJT | |
| VJT | |
| VJT | |
| VJT | |
| VJT | |

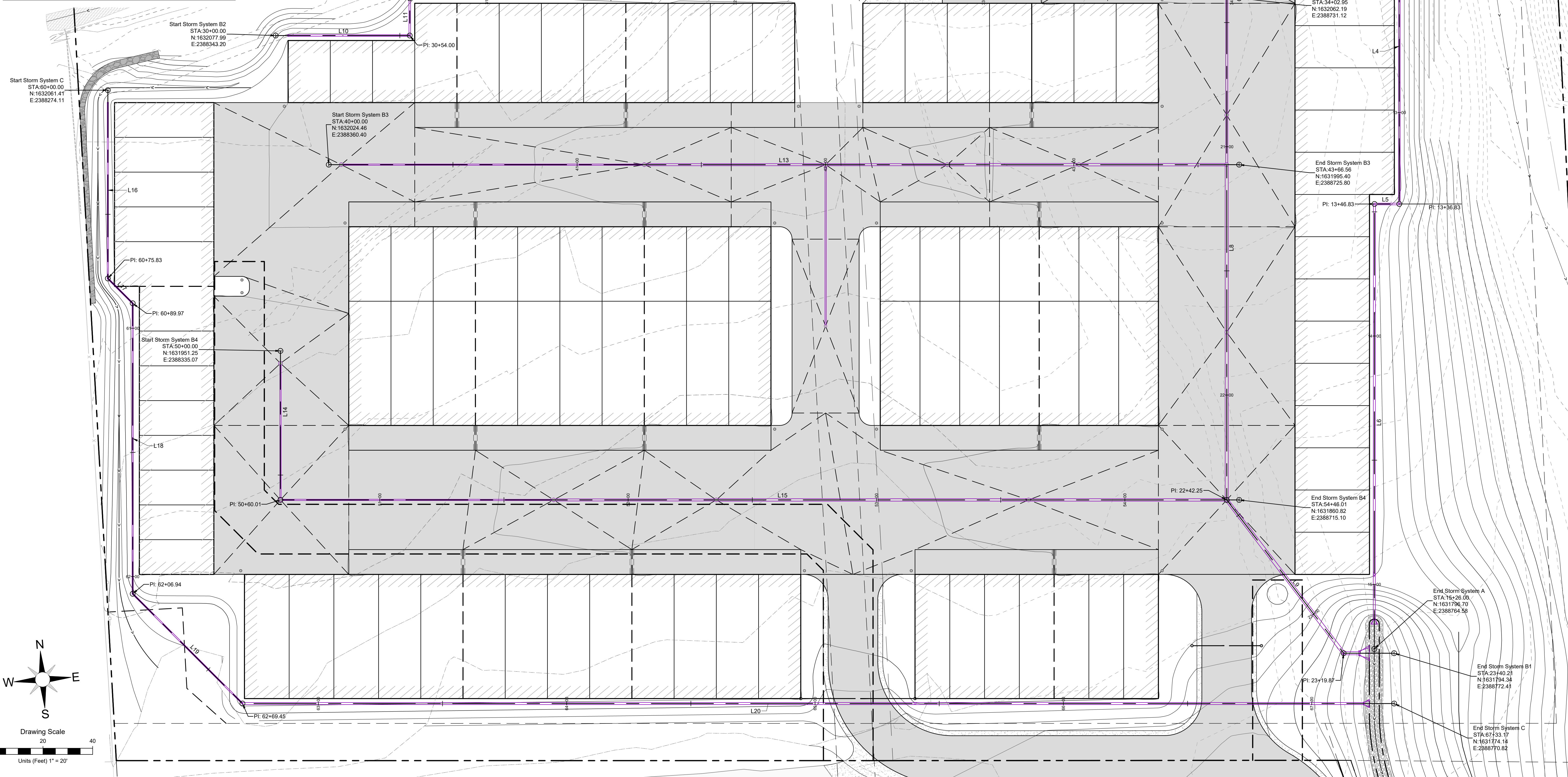
| | |
|------------|------------|
| Date | 02/01/2023 |
| 05/08/2023 | |
| 09/27/2023 | |
| 03/22/2024 | |
| 03/29/2024 | |
| 05/20/2024 | |
| 06/03/2024 | |
| 07/17/2024 | |


| Description | # |
|--------------------------------|----|
| Planning And Zoning Submission | 01 |
| Building Permit Submission | 02 |
| Comment Responses | 03 |
| Change Order #1 | 04 |
| Construction Drawings | 05 |
| Storm Pipe Material Update | 06 |
| Water Line Realignment | 07 |
| Drainage Calculation Update | 08 |
| Comment Responses #2 | 09 |



| | |
|------------------|--------------------------------|
| Reviewed By | JKE |
| Drawn By | VJT |
| Date | 02/01/2023 |
| Description | Planning And Zoning Submission |
| # | 01 |
| Job # | 22.71 |
| For Construction | |
| Drainage Layout | |
| C1.5 | |
| Of 20 Pages | |


| Line Table | | | | |
|------------|-------------|---------|-----------------------|-----------------------|
| Line | Bearing | Length | Start Point (N,E) | End Point (N,E) |
| L1 | S85°27'13"E | 109.00' | 1632173.56,2388655.19 | 1632164.92,2388763.85 |
| L2 | S4°32'47"W | 63.00' | 1632164.92,2388763.85 | 1632102.12,2388758.86 |
| L3 | S85°27'13"E | 40.00' | 1632102.12,2388758.86 | 1632098.95,2388798.73 |
| L4 | S4°32'47"W | 124.83' | 1632098.95,2388798.73 | 1631974.51,2388788.84 |
| L5 | N85°27'13"W | 10.00' | 1631974.51,2388788.84 | 1631975.30,2388778.87 |
| L6 | S4°34'22"W | 179.17' | 1631975.30,2388778.87 | 1631796.70,2388764.58 |
| L7 | S40°27'04"E | 38.25' | 1632093.67,2388701.47 | 1632064.56,2388726.29 |
| L8 | S4°32'56"W | 204.00' | 1632064.56,2388726.29 | 1631861.21,2388710.11 |
| L9 | S32°46'45"E | 77.62' | 1631861.21,2388710.11 | 1631795.95,2388752.14 |
| L10 | S85°27'13"E | 54.00' | 1632077.99,2388343.20 | 1632073.71,2388397.03 |
| L11 | N4°32'45"E | 15.00' | 1632073.71,2388397.03 | 1632088.66,2388398.22 |
| L12 | S85°27'10"E | 333.95' | 1632088.66,2388398.22 | 1632062.19,2388731.12 |
| L13 | S85°27'12"E | 366.56' | 1632024.46,2388360.40 | 1631995.40,2388725.80 |
| L14 | S4°33'01"W | 60.01' | 1631951.25,2388335.07 | 1631891.43,2388330.31 |
| L15 | S85°27'05"E | 386.01' | 1631891.43,2388330.31 | 1631860.82,2388715.10 |
| L16 | S4°32'47"W | 75.83' | 1632061.41,2388274.11 | 1631985.82,2388268.10 |
| L17 | S40°27'13"E | 14.14' | 1631985.82,2388268.10 | 1631975.06,2388277.27 |
| L18 | S4°32'47"W | 116.97' | 1631975.06,2388277.27 | 1631858.46,2388268.00 |
| L19 | S40°27'13"E | 62.51' | 1631858.46,2388268.00 | 1631810.89,2388308.56 |
| L20 | S85°27'13"E | 463.72' | 1631810.89,2388308.56 | 1631774.14,2388770.82 |





1101 Village Road, Unit UL-3C
Carbondale, CO 81623
(970) 510 - 5312

Silt Mega Storage
510 Main Street
Silt, Colorado 81652



| | |
|-------------|------------|
| Reviewed By | JKE |
| Drawn By | VJT |
| Date | 02/01/2023 |
| | 05/08/2023 |
| | 09/27/2023 |
| | 03/22/2024 |
| | 03/29/2024 |
| | 05/20/2024 |
| | 06/03/2024 |
| | 06/12/2024 |
| | 07/17/2024 |

| | |
|-------------|--------------------------------|
| Description | Planning And Zoning Submission |
| # | 01 |
| | 02 |
| | 03 |
| | 04 |
| | 05 |
| | 06 |
| | 07 |
| | 08 |
| | 09 |
| | Building Permit Submission |
| | Comment Responses |
| | Change Order #1 |
| | Construction Drawings |
| | Storm Pipe Material Update |
| | Water Line Realignment |
| | Drainage Calculation Update |
| | Comment Responses #2 |

Job #: 22.71
For Construction

Drainage Alignments

C1.6
Of 20 Pages



1101 Village Road, Unit UL-3C
Carbondale, CO 81623
(970) 510 - 5312

Silt Mega Storage
510 Main Street
Silt, Colorado 81652



| | |
|-------------|-----|
| Reviewed By | JKE |
| | JKE |
| | JKE |
| | JKE |
| | JKE |
| | JKE |
| | JKE |
| | JKE |

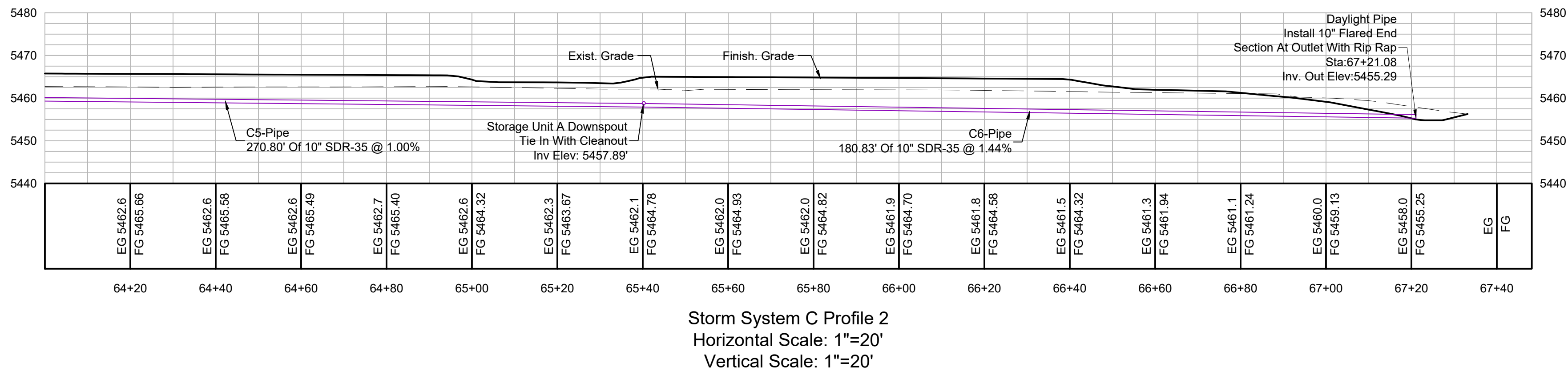
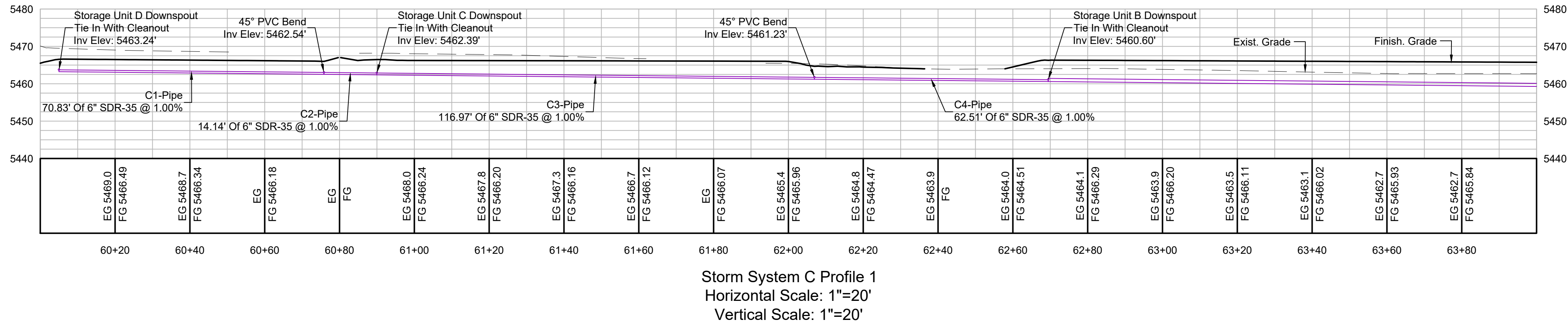
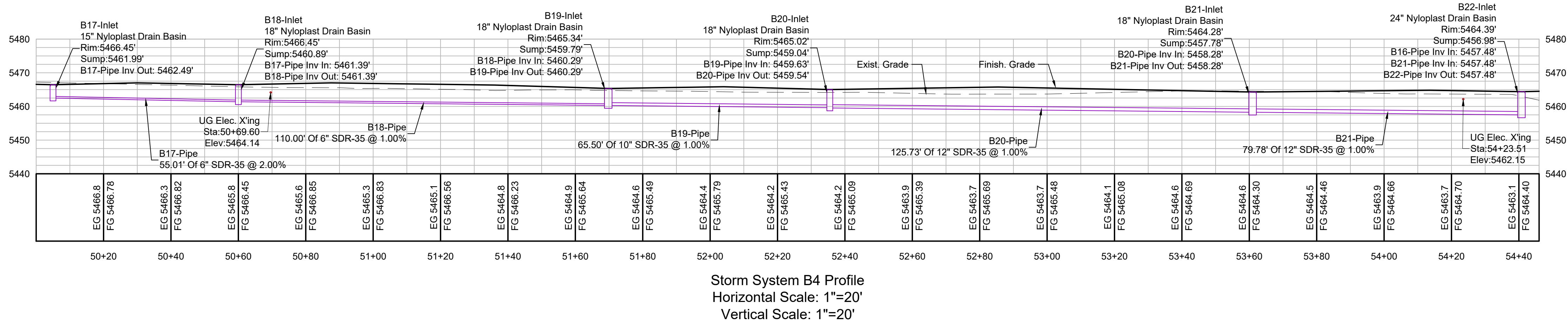
| | |
|----------|-----|
| Drawn By | VJT |
| | VJT |
| | VJT |
| | VJT |
| | VJT |
| | VJT |
| | VJT |
| | VJT |

| | |
|------|------------|
| Date | 02/01/2023 |
| | 05/08/2023 |
| | 09/27/2023 |
| | 03/22/2024 |
| | 03/29/2024 |
| | 05/20/2024 |
| | 06/03/2024 |
| | 07/17/2024 |

| | |
|-------------|--------------------------------|
| Description | Planning And Zoning Submission |
| | Building Permit Submission |
| | Comment Responses |
| | Change Order #1 |
| | Construction Drawings |
| | Storm Pipe Material Update |
| | Water Line Realignment |
| | Drainage Calculation Update |
| | Comment Responses #2 |
| # | 01 |
| | 02 |
| | 03 |
| | 04 |
| | 05 |
| | 06 |
| | 07 |
| | 08 |
| | 09 |

Job #: 22.71
For Construction

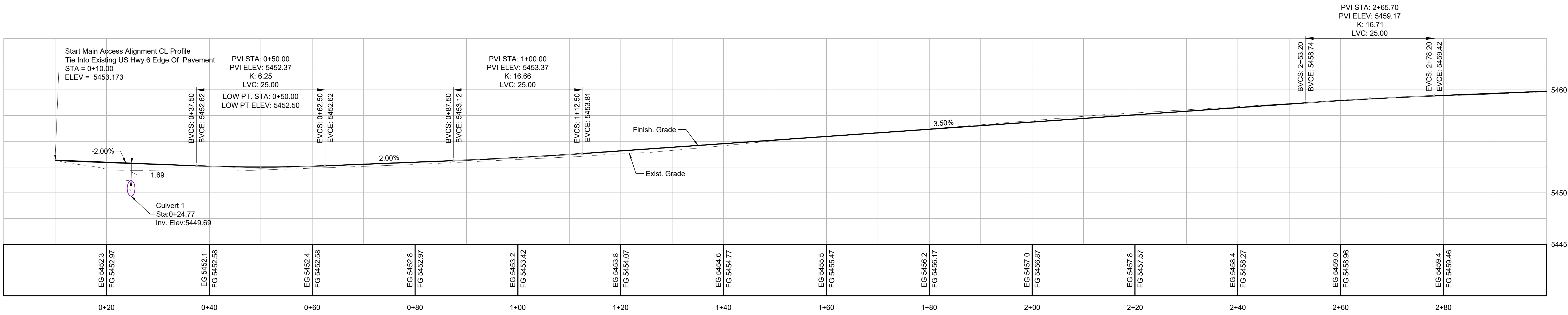
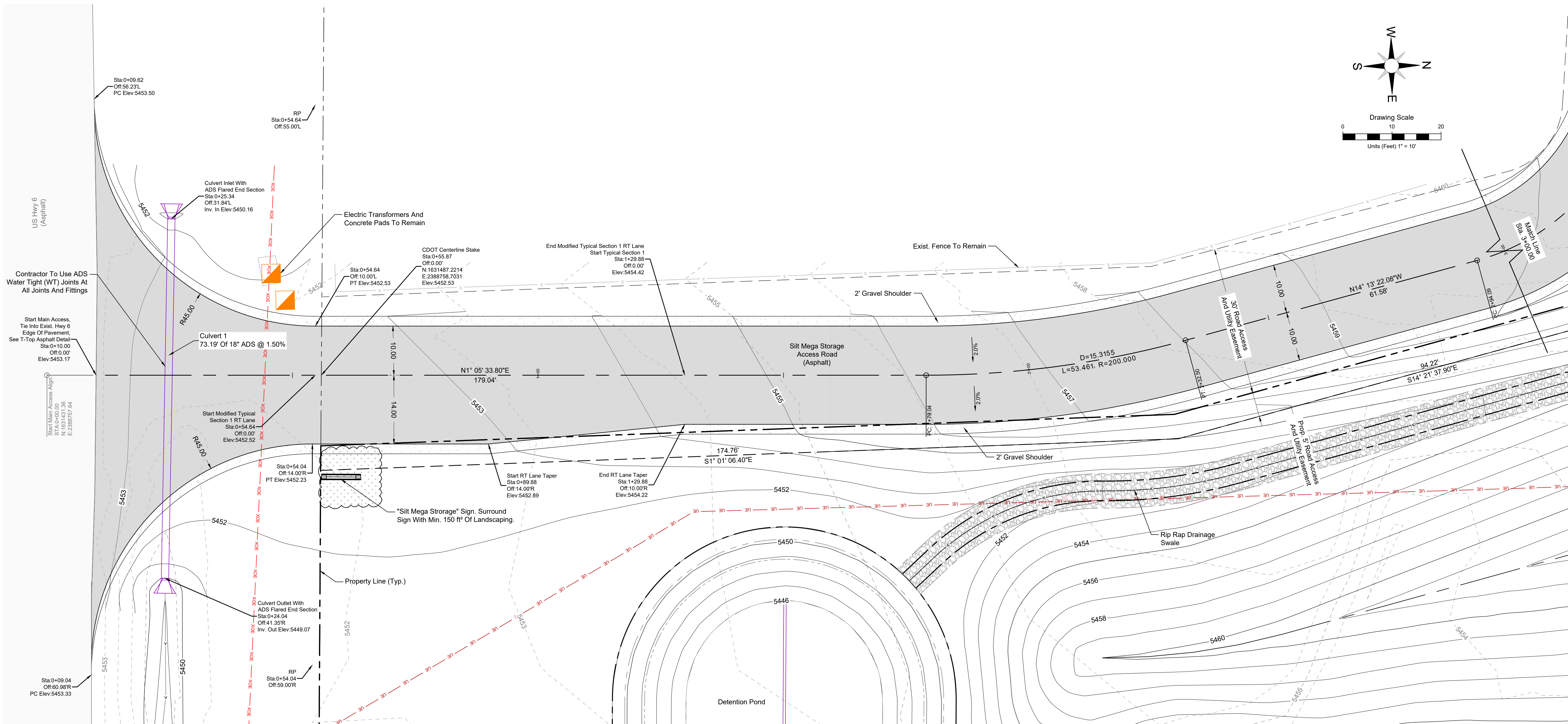
Drainage Profiles 2




- Notes:
- All ADS Pipes And Fittings Shall Be Constructed With ADS Water Tight (WT) Joints.
 - See Culvert Profile And Outfall Profile On Detention Basin Grading Plan Sheet.

| Pipe Table | | | | |
|------------|------|---------|-------|----------|
| Name | Size | Length | Slope | Material |
| A1-Pipe | 6" | 104.01' | 1.00% | SDR-35 |
| A2-Pipe | 6" | 63.00' | 1.00% | SDR-35 |
| A3-Pipe | 6" | 40.00' | 1.00% | SDR-35 |
| A4-Pipe | 8" | 124.83' | 1.00% | SDR-35 |
| A5-Pipe | 8" | 10.00' | 1.00% | SDR-35 |
| A6-Pipe | 10" | 149.18' | 1.00% | SDR-35 |
| A7-Pipe | 10" | 18.33' | 1.00% | SDR-35 |
| B1-Pipe | 6" | 33.25' | 1.00% | SDR-35 |
| B2-Pipe | 6" | 1.99' | 1.00% | SDR-35 |
| B3-Pipe | 8" | 49.00' | 1.00% | SDR-35 |
| B4-Pipe | 8" | 15.00' | 1.00% | SDR-35 |
| B5-Pipe | 8" | 182.44' | 1.00% | SDR-35 |
| B6-Pipe | 8" | 146.52' | 1.00% | SDR-35 |
| B7-Pipe | 10" | 46.99' | 1.00% | SDR-35 |
| B8-Pipe | 10" | 20.01' | 1.00% | SDR-35 |
| B9-Pipe | 6" | 122.06' | 1.00% | SDR-35 |
| B10-Pipe | 10" | 73.02' | 1.00% | SDR-35 |
| B11-Pipe | 6" | 65.00' | 1.00% | SDR-35 |
| B12-Pipe | 10" | 48.98' | 1.00% | SDR-35 |
| B13-Pipe | 12" | 53.00' | 1.00% | SDR-35 |

| Pipe Table | | | | |
|-----------------|------|---------|-------|--------------|
| Name | Size | Length | Slope | Material |
| B14-Pipe | 12" | 59.51' | 1.00% | SDR-35 |
| B15-Pipe | 15" | 67.50' | 1.00% | ADS |
| B16-Pipe | 15" | 67.52' | 2.00% | ADS |
| B17-Pipe | 6" | 55.02' | 2.00% | SDR-35 |
| B18-Pipe | 6" | 110.01' | 1.00% | SDR-35 |
| B19-Pipe | 10" | 65.50' | 1.00% | SDR-35 |
| B20-Pipe | 12" | 125.73' | 1.00% | SDR-35 |
| B21-Pipe | 12" | 79.78' | 1.00% | SDR-35 |
| B22-Pipe | 15" | 77.66' | 3.00% | ADS |
| B23-Pipe | 15" | 6.60' | 3.00% | ADS |
| C1-Pipe | 6" | 70.83' | 1.00% | SDR-35 |
| C2-Pipe | 6" | 14.14' | 1.00% | SDR-35 |
| C3-Pipe | 6" | 116.98' | 1.00% | SDR-35 |
| C4-Pipe | 6" | 62.51' | 1.00% | SDR-35 |
| C5-Pipe | 10" | 270.81' | 1.00% | SDR-35 |
| C6-Pipe | 10" | 180.85' | 1.44% | SDR-35 |
| Culvert 1 | 18" | 73.20' | 1.50% | ADS |
| Outflow Pipe | 18" | 28.00' | 6.50% | ADS |
| Underdrain Pipe | 6" | 105.76' | 2.00% | Perf. SDR-35 |




Main Access Align. Profile
Horizontal Scale: 1"=10'
Vertical Scale: 1"=5'



1101 Village Road, Unit UL-3C
Carbondale, CO 81623
(970) 510 - 5312

Silt Mega Storage
510 Main Street
Silt, Colorado 81652



| | |
|--------------------------------|--------------------------------|
| Reviewed By | JKE |
| Drawn By | VJT |
| Date | 02/01/2023 |
| Description | Planning And Zoning Submission |
| # | 01 |
| Job # | 22.71 |
| Access Road Plan And Profile 1 | |
| C2.1 | |
| Of 20 Pages | |

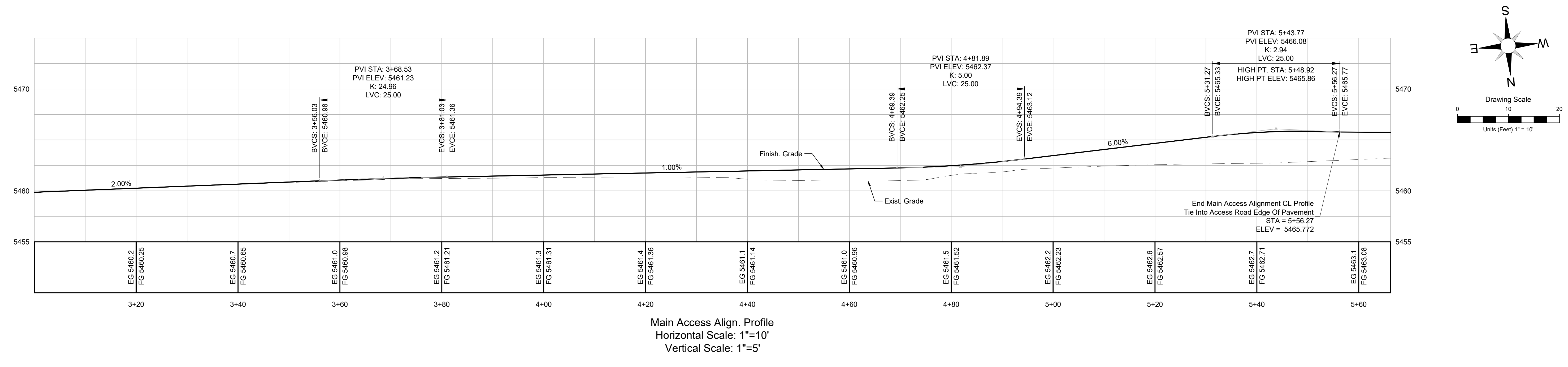
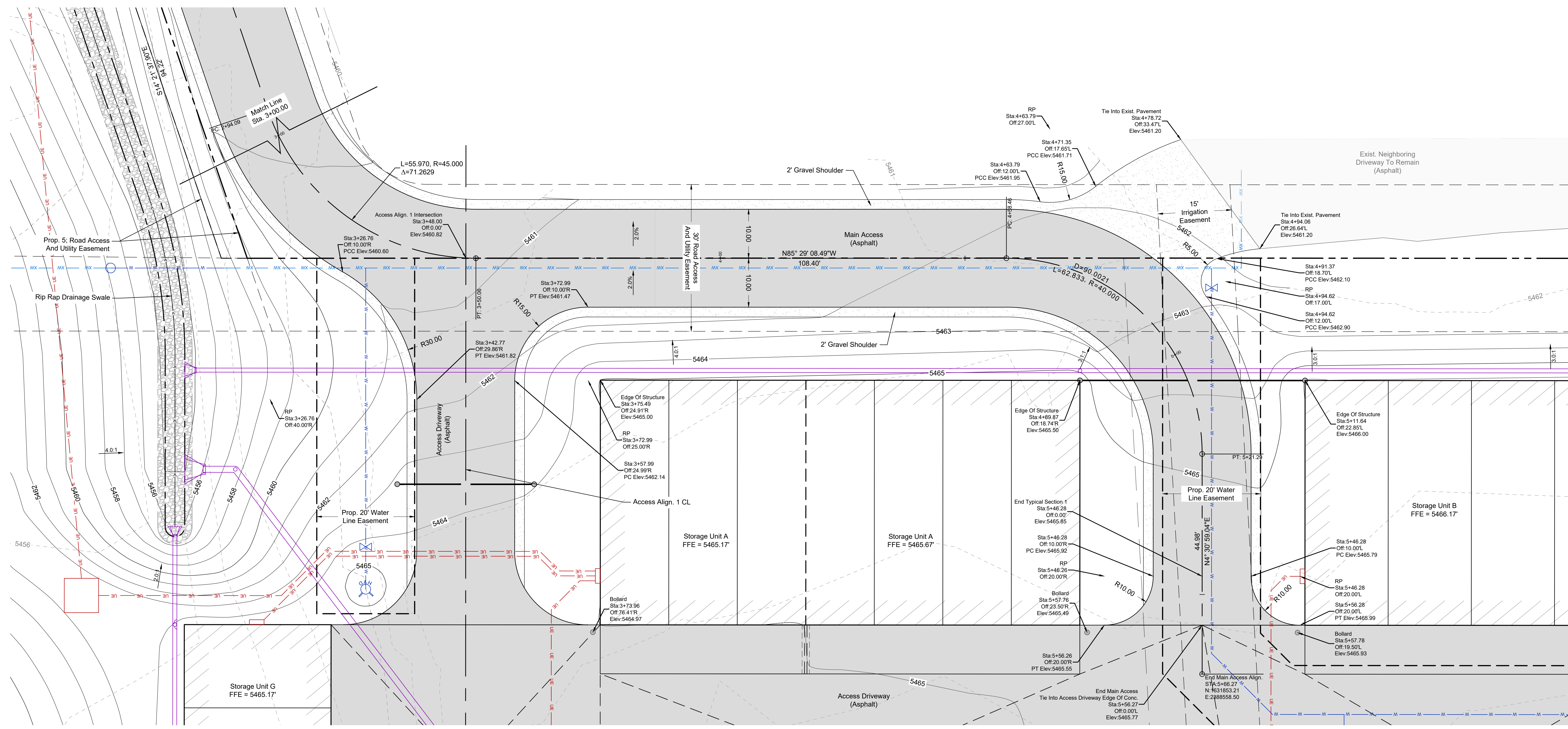


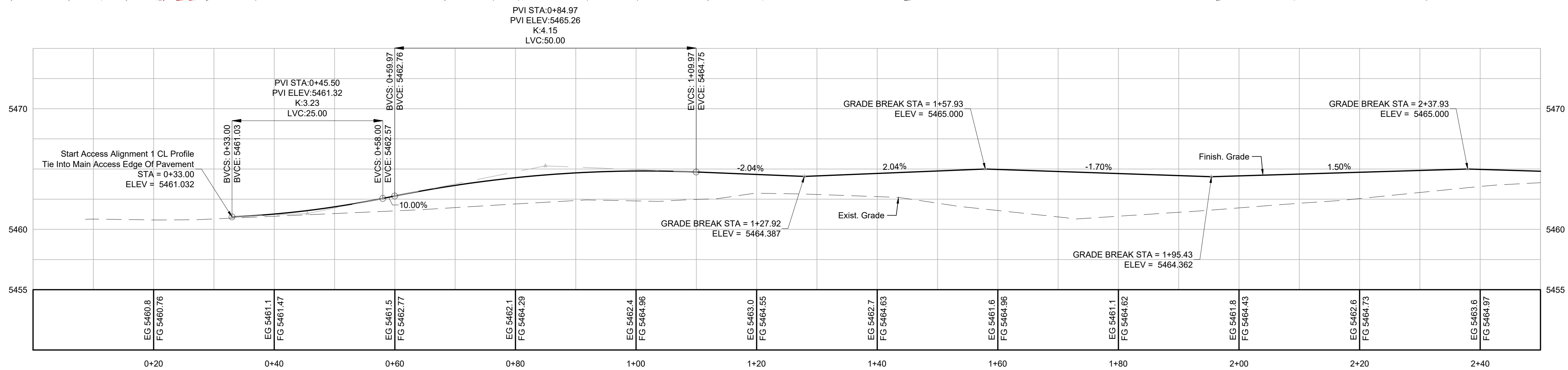
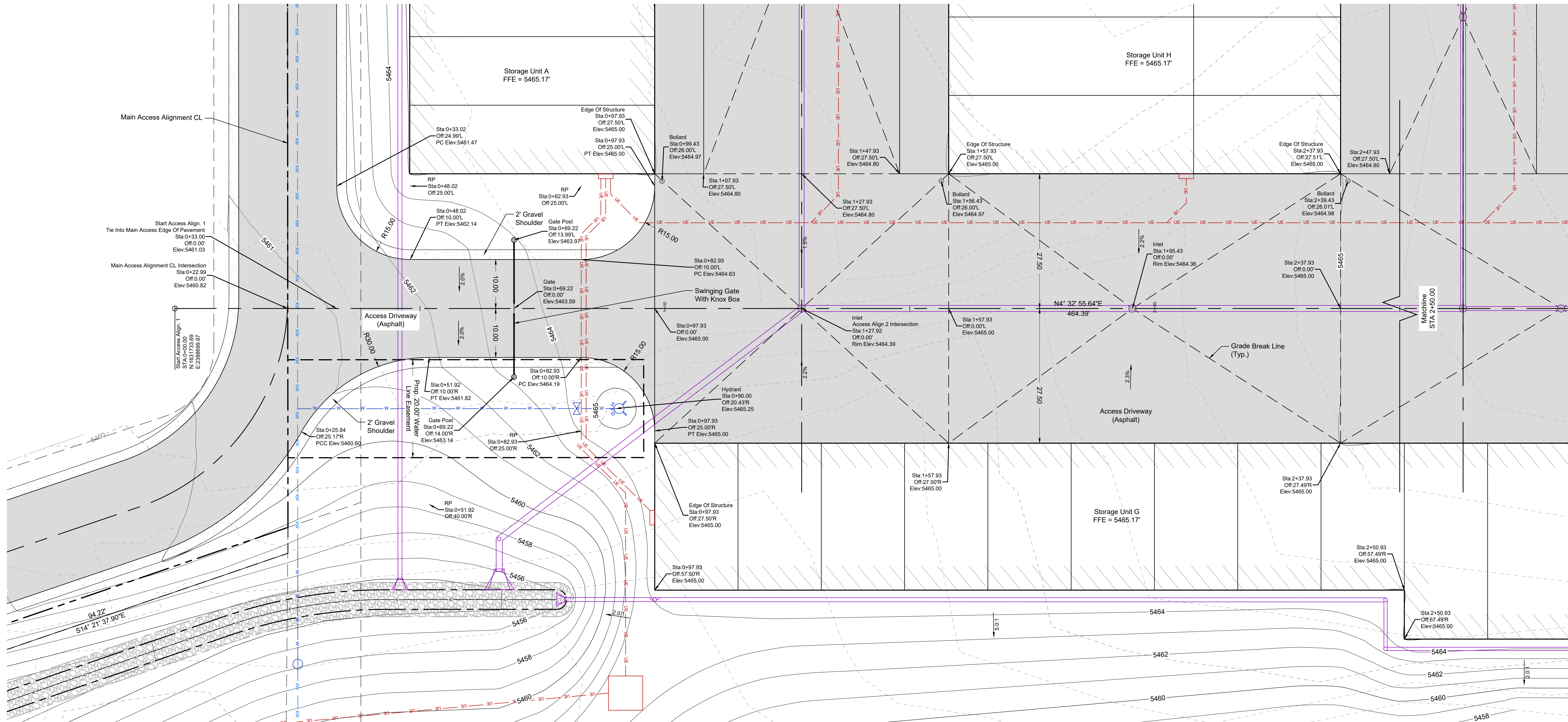
1101 Village Road, Unit UL-3C
Carbondale, CO 81623
(970) 510 - 5312

Silt Mega Storage
510 Main Street
Silt, Colorado 81652




| | |
|--------------------------------|--------------------------------|
| Reviewed By | JKE |
| Drawn By | VJT |
| Date | 02/01/2023 |
| Description | Planning And Zoning Submission |
| # | 01 |
| Job # | 22.71 |
| Access Road Plan And Profile 2 | |
| C2.2 | |
| Of 20 Pages | |






Access Align. 1 Profile
Horizontal Scale: 1"=10'
Vertical Scale: 1"=5'



1101 Village Road, Unit UL-3C
Carbondale, CO 81623
(970) 510 - 5312

Silt Mega Storage
510 Main Street
Silt, Colorado 81652



Reviewed By
JKE
JKE
JKE
JKE
JKE
JKE
JKE
JKE

Drawn By
VJT
VJT
VJT
VJT
VJT
VJT
VJT
VJT

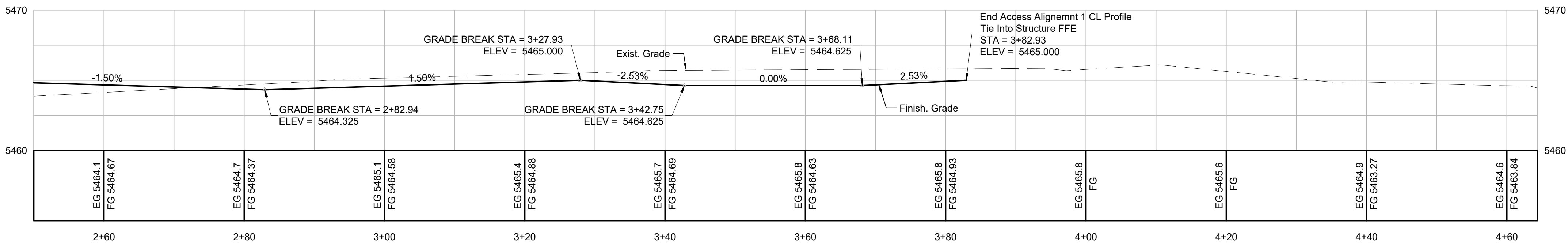
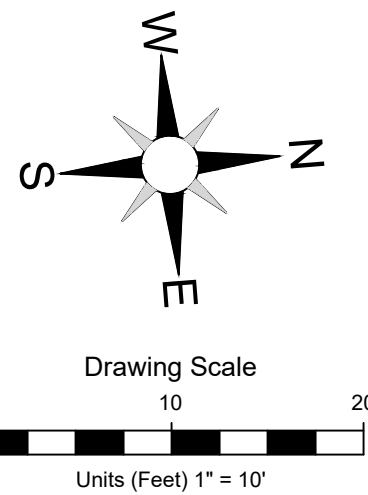
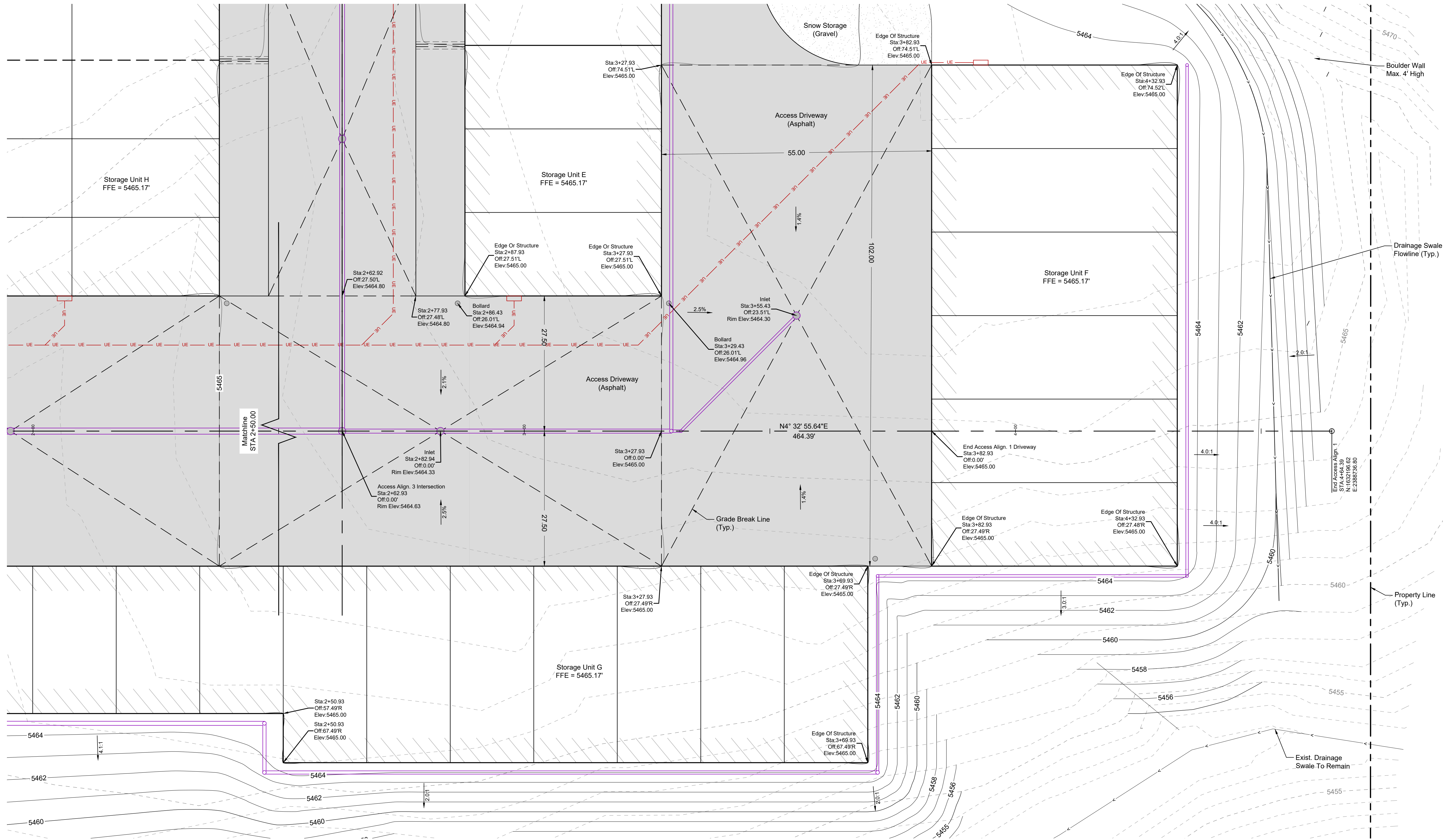
Date
02/01/2023
05/08/2023
09/27/2023
03/22/2024
03/29/2024
06/03/2024
06/12/2024
07/17/2024

| # | Description |
|----|--------------------------------|
| 01 | Planning And Zoning Submission |
| 02 | Building Permit Submission |
| 03 | Comment Responses |
| 04 | Change Order #1 |
| 05 | Construction Drawings |
| 06 | Storm Pipe Material Update |
| 07 | Water Line Realignment |
| 08 | Drainage Calculation Update |
| 09 | Comment Responses #2 |


Job #: 22.71
For Construction

Access Alignment 1 Plan And Profile 1

C2.3
Of 20 Pages




Access Align. 1 Profile
Horizontal Scale: 1"=10'
Vertical Scale: 1"=5'



1101 Village Road, Unit UL-3C
Carbondale, CO 81623
(970) 510-5312

Silt Mega Storage
510 Main Street
Silt, Colorado 81652



| | |
|-------------|------------|
| Reviewed By | JKE |
| Drawn By | VJT |
| Date | 02/01/2023 |
| | 05/08/2023 |
| | 09/27/2023 |
| | 03/22/2024 |
| | 03/29/2024 |
| | 05/20/2024 |
| | 06/03/2024 |
| | 07/17/2024 |

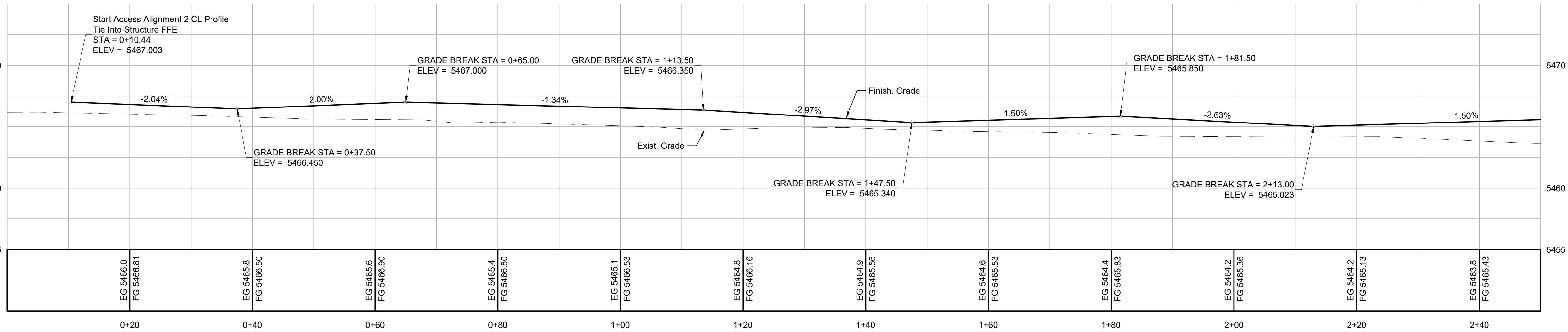
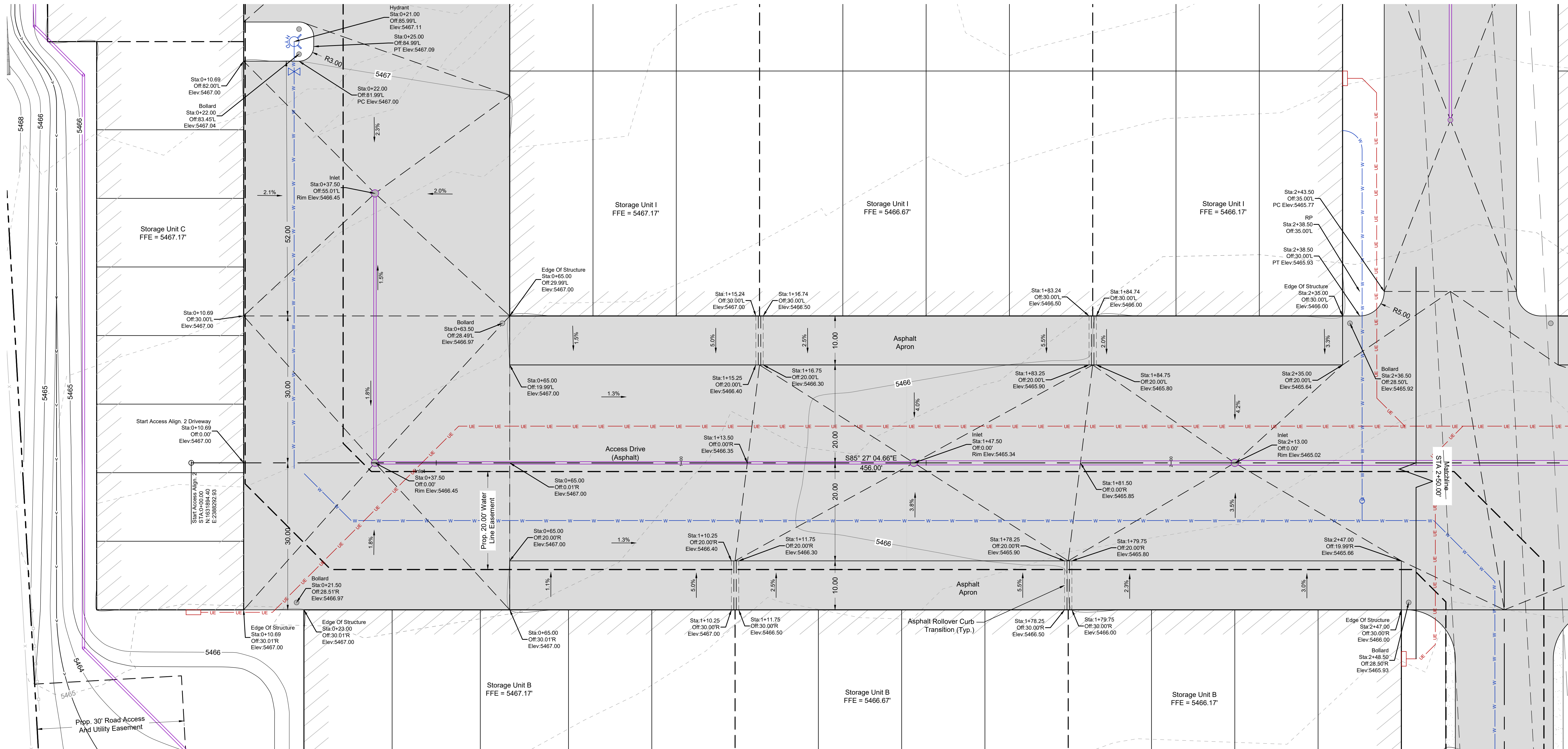
| | |
|-------------|--------------------------------|
| Description | Planning And Zoning Submission |
| # | 01 |
| | Building Permit Submission |
| | 02 |
| | Comment Responses |
| | 03 |
| | Change Order #1 |
| | 04 |
| | Construction Drawings |
| | 05 |
| | Storm Pipe Material Update |
| | 06 |
| | Water Line Realignment |
| | 07 |
| | Drainage Calculation Update |
| | 08 |
| | Comment Responses #2 |
| | 09 |

Job #: 22.71

For Construction

Access Alignment 1 Plan And Profile 2

C2.4
Of 20 Pages



Access Align. 2 Profile
Horizontal Scale: 1"=10'
Vertical Scale: 1"=5'



1101 Village Road, Unit UL-3C
Carbondale, CO 81623
(970) 510 - 5312

Silt Mega Storage
510 Main Street
Silt, Colorado 81652



Reviewed By
JKE
JKE
JKE
JKE
JKE
JKE
JKE

Drawn By
VJT
VJT
VJT
VJT
VJT
VJT
VJT

Date
02.01.2023
05.08.2023
09.27.2023
03.22.2024
03.29.2024
05.20.2024
06.12.2024
07.17.2024

Description
Planning And Zoning Submission
Building Permit Submission
Comment Responses
Change Order #1
Construction Drawings
Storm Pipe Material Update
Water Line Realignment
Drainage Calculation Update
Comment Responses #2

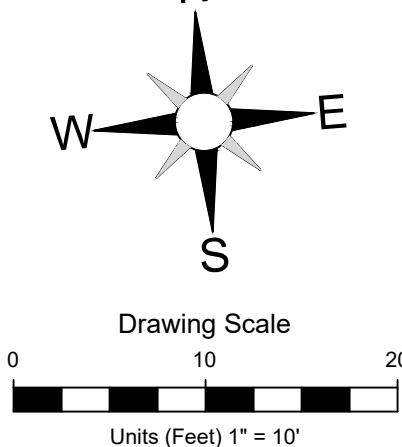
01
02
03
04
05
06
07
08
09

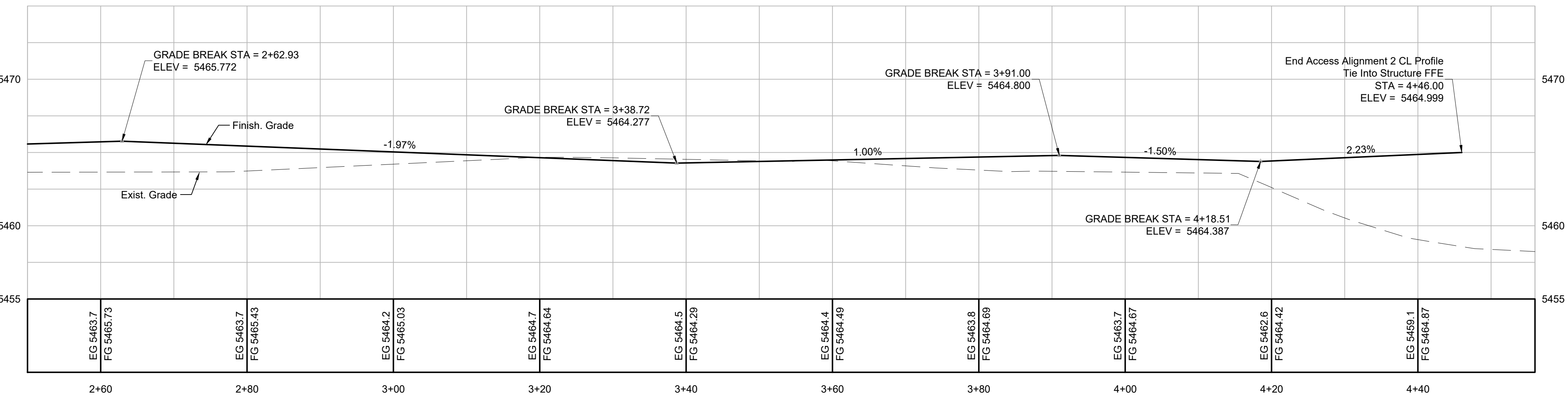
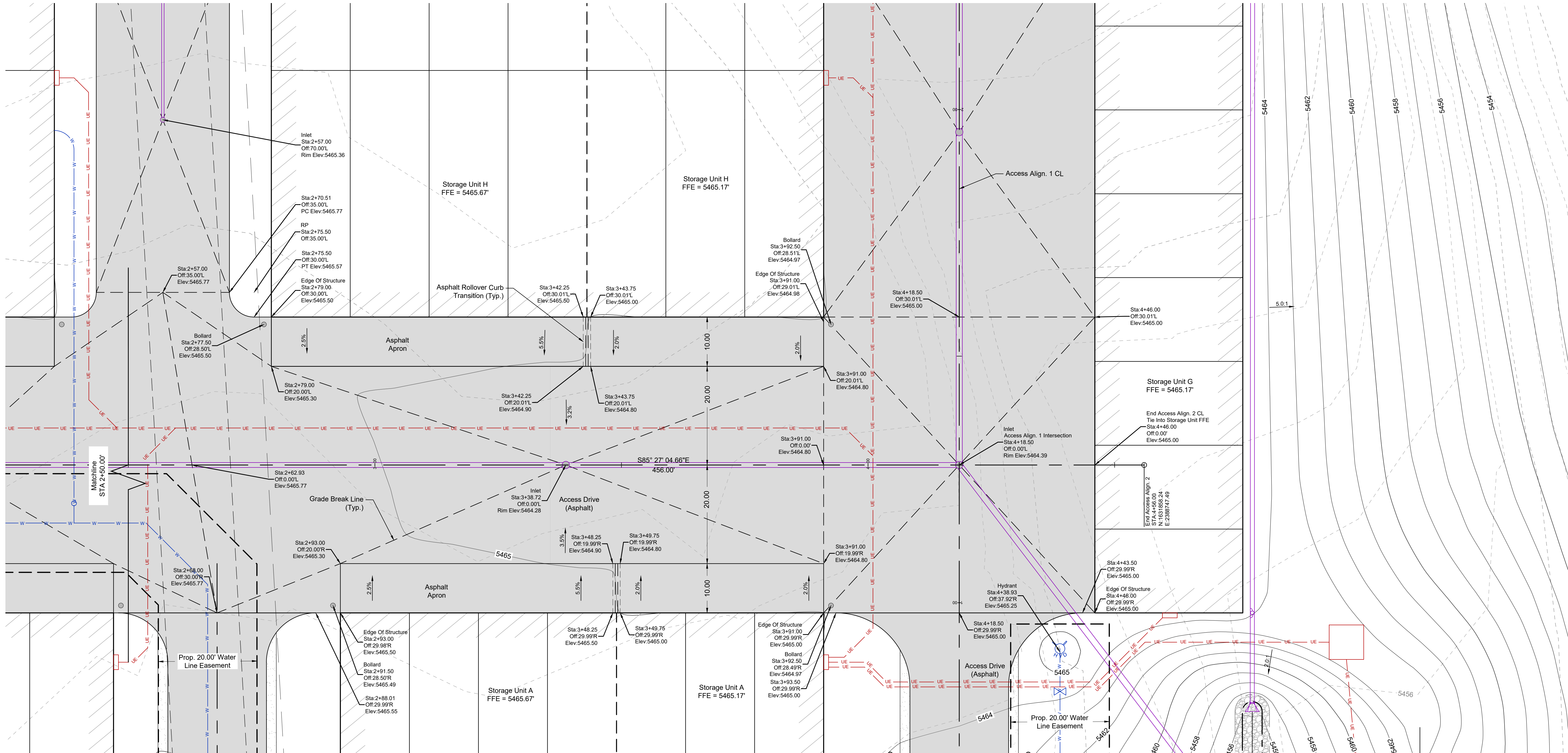
Job #: 22.71

For Construction

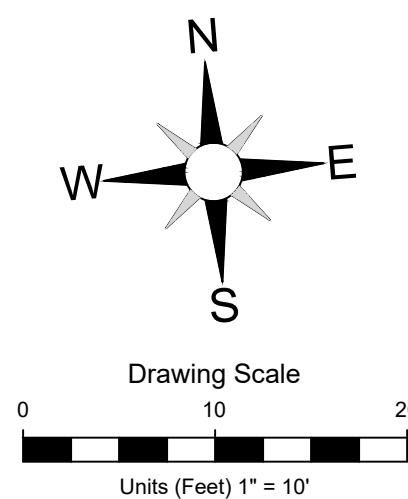
Access Alignment 2 Plan And
Profile 1


C2.5
Of 20 Pages






Access Align. 2 Profile
Horizontal Scale: 1"=10'
Vertical Scale: 1"=5'





1101 Village Road, Unit UL-3C
Carbondale, CO 81623
(970) 510 - 5312

Silt Mega Storage
510 Main Street
Silt, Colorado 81652



COLORADO LICENSED
J. TORRES
56615
PROFESSIONAL ENGINEER

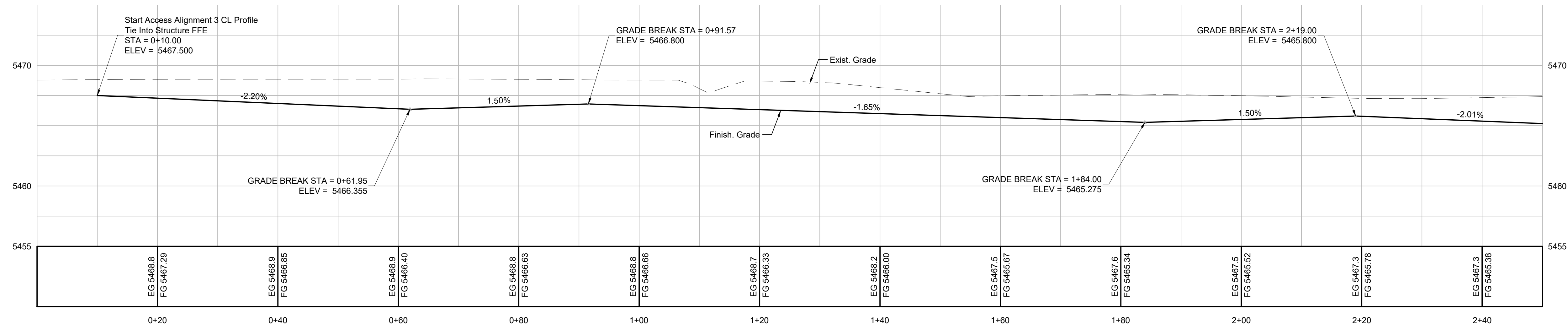
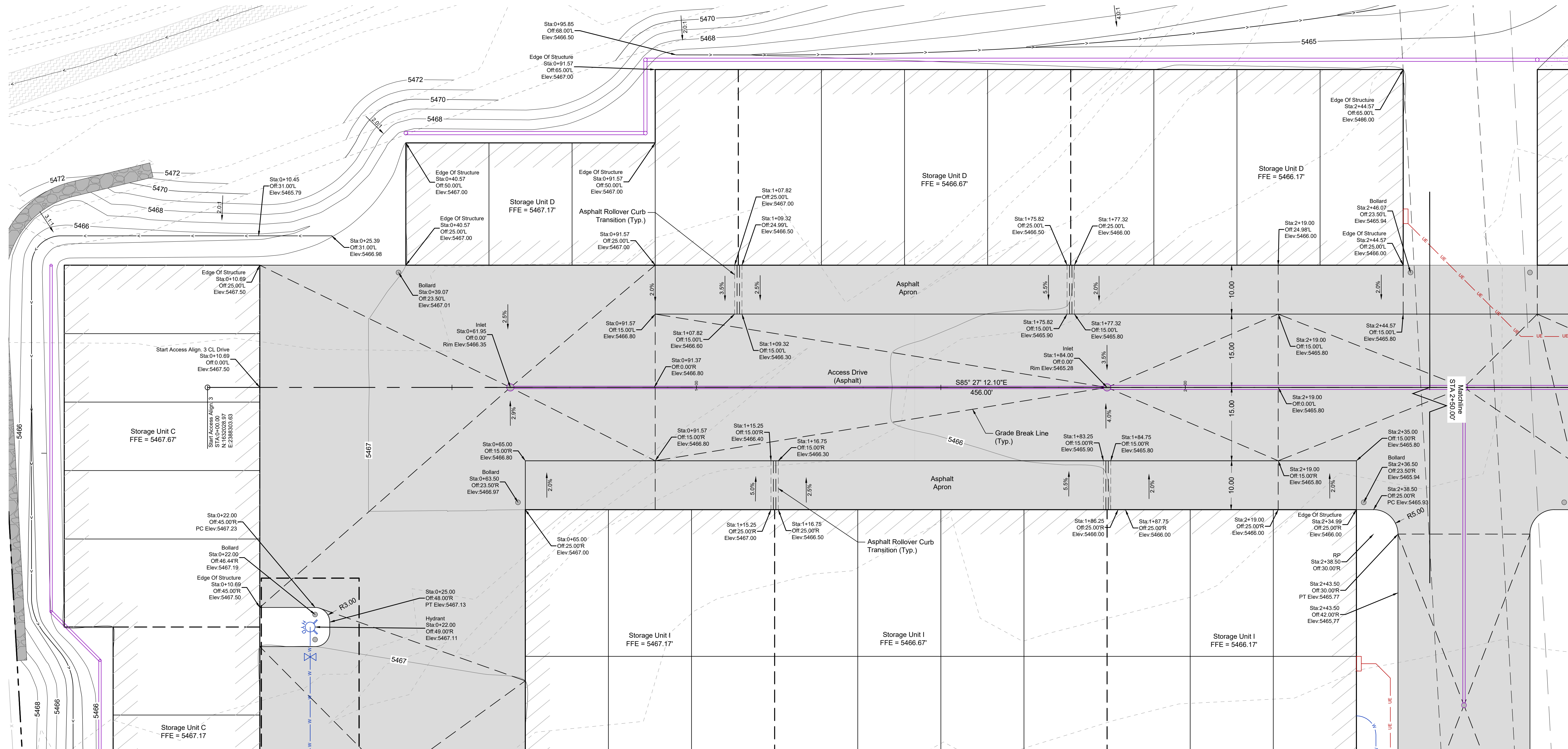
| | |
|-------------|--------------------------------|
| Reviewed By | JKE |
| Drawn By | VJT |
| Date | 02/01/2023 |
| Description | Planning And Zoning Submission |
| # | 01 |
| Description | Building Permit Submission |
| # | 02 |
| Description | Comment Responses |
| # | 03 |
| Description | Change Order #1 |
| # | 04 |
| Description | Construction Drawings |
| # | 05 |
| Description | Storm Pipe Material Update |
| # | 06 |
| Description | Water Line Realignment |
| # | 07 |
| Description | Drainage Calculation Update |
| # | 08 |
| Description | Comment Responses #2 |
| # | 09 |

Job #: 22.71


For Construction

Access Alignment 2 Plan And Profile 2

C2.6
Of 20 Pages




Access Align. 3 Profile
Horizontal Scale: 1"=10'
Vertical Scale: 1"=5'



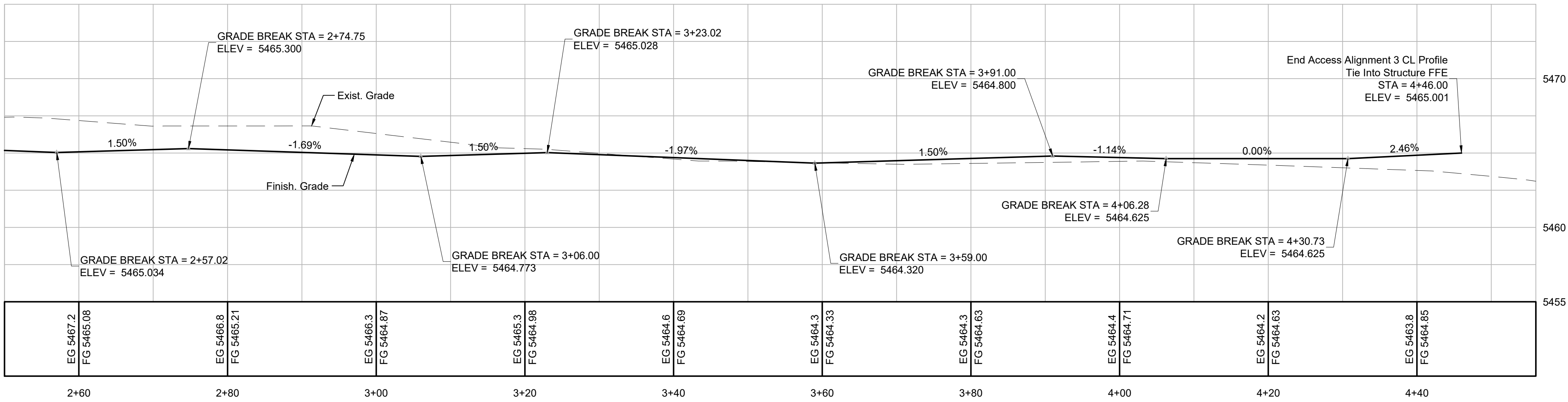
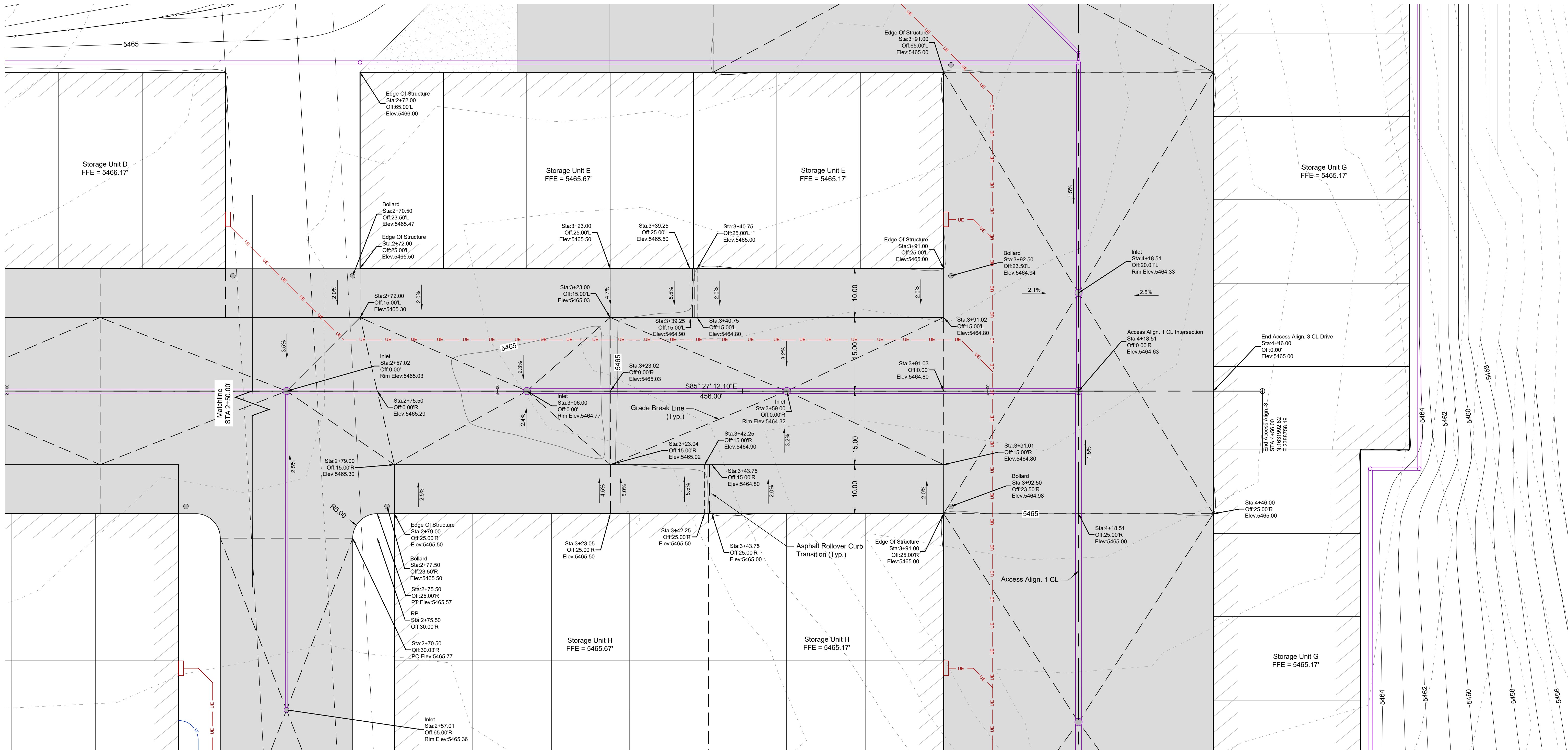
1101 Village Road, Unit UL-3C
Carbondale, CO 81623
(970) 510 - 5312

Silt Mega Storage
510 Main Street
Silt, Colorado 81652

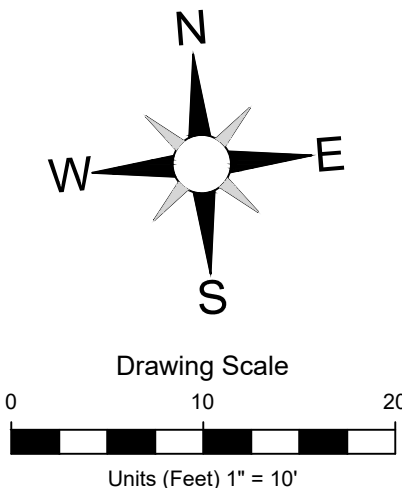



COLORADO LICENSED
J. TORRES
56615
PROFESSIONAL ENGINEER

| | |
|---------------------------------------|--------------------------------|
| Reviewed By | JKE |
| Drawn By | VJT |
| Date | 02/01/2023 |
| Description | Planning And Zoning Submission |
| # | 01 |
| Job # | 22.71 |
| Access Alignment 3 Plan And Profile 1 | |
| C2.7 | |
| Of 20 Pages | |




Access Align. 3 Profile
Horizontal Scale: 1"=10'
Vertical Scale: 1"=5'





1101 Village Road, Unit UL-3C
Carbondale, CO 81623
(970) 510 - 5312

Silt Mega Storage
510 Main Street
Silt, Colorado 81652

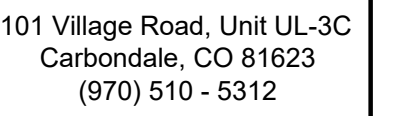


| | |
|-------------|--------------------------------|
| Reviewed By | JKE |
| Drawn By | VJT |
| Date | 02/01/2023 |
| Description | Planning And Zoning Submission |
| # | 01 |
| Date | 05/08/2023 |
| Description | Building Permit Submission |
| # | 02 |
| Date | 09/27/2023 |
| Description | Comment Responses |
| # | 03 |
| Date | 03/22/2024 |
| Description | Change Order #1 |
| # | 04 |
| Date | 03/29/2024 |
| Description | Construction Drawings |
| # | 05 |
| Date | 05/20/2024 |
| Description | Storm Pipe Material Update |
| # | 06 |
| Date | 06/03/2024 |
| Description | Water Line Realignment |
| # | 07 |
| Date | 06/12/2024 |
| Description | Drainage Calculation Update |
| # | 08 |
| Date | 07/17/2024 |
| Description | Comment Responses #2 |
| # | 09 |

Job #: 22.71
For Construction

Access Alignment 3 Plan And
Profile 2

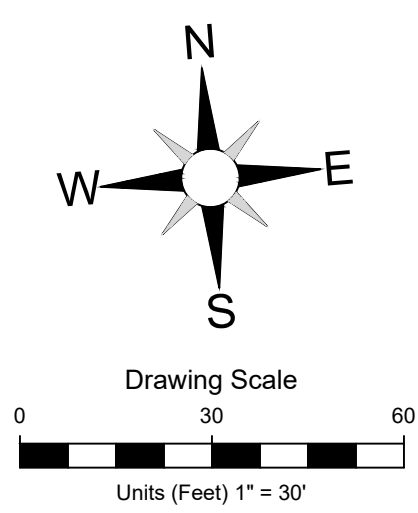
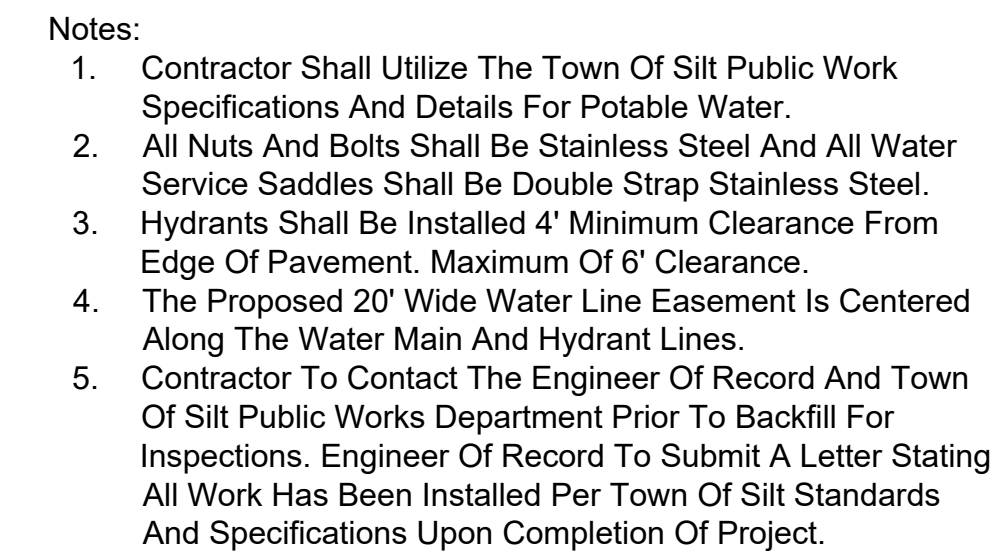
C2.8
Of 20 Pages



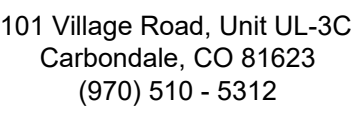
Silt Mega Storage
510 Main Street
Silt, Colorado 81652



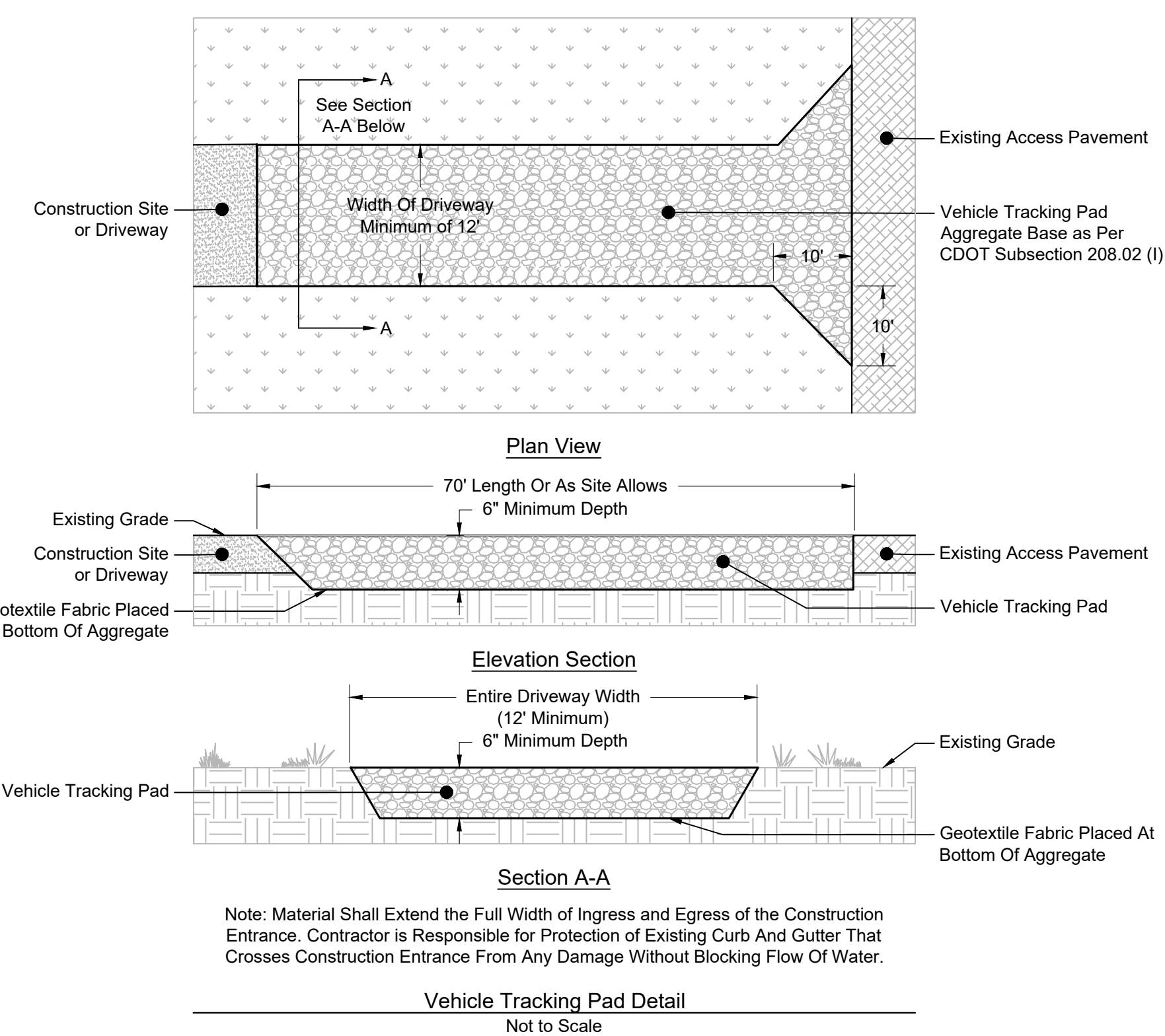
| C3.1 Of 20 Pages | | Utility Plan | | Job #: 22.71 For Construction | | <table><tr><th>#</th><th>Description</th><th>Date</th><th>Drawn By</th><th>VJT</th><th>VJT</th></tr><tr><td>01</td><td>Planning And Zoning Submission</td><td>02.01.2023</td><td></td><td></td><td></td></tr><tr><td>02</td><td>Building Permit Submission</td><td>05.08.2023</td><td></td><td></td><td></td></tr><tr><td>03</td><td>Comment Responses</td><td>09.27.2023</td><td></td><td></td><td></td></tr><tr><td>04</td><td>Change Order</td><td>03.20.2024</td><td></td><td></td><td></td></tr><tr><td>05</td><td>Site Drawings</td><td>05.28.2024</td><td></td><td></td><td></td></tr><tr><td>06</td><td>Storm Pipe Material Update</td><td>05.20.2024</td><td></td><td></td><td></td></tr><tr><td>07</td><td>Water Line Realignment</td><td>06.03.2024</td><td></td><td></td><td></td></tr><tr><td>08</td><td>Drainage Calculation Update</td><td>06.12.2024</td><td></td><td></td><td></td></tr><tr><td>09</td><td>Comment Responses #2</td><td>07.17.2024</td><td></td><td></td><td></td></tr></table> | # | Description | Date | Drawn By | VJT | VJT | 01 | Planning And Zoning Submission | 02.01.2023 | | | | 02 | Building Permit Submission | 05.08.2023 | | | | 03 | Comment Responses | 09.27.2023 | | | | 04 | Change Order | 03.20.2024 | | | | 05 | Site Drawings | 05.28.2024 | | | | 06 | Storm Pipe Material Update | 05.20.2024 | | | | 07 | Water Line Realignment | 06.03.2024 | | | | 08 | Drainage Calculation Update | 06.12.2024 | | | | 09 | Comment Responses #2 | 07.17.2024 | | | |
|---------------------|--------------------------------|--------------|----------|----------------------------------|-----|--|---|-------------|------|----------|-----|-----|----|--------------------------------|------------|--|--|--|----|----------------------------|------------|--|--|--|----|-------------------|------------|--|--|--|----|--------------|------------|--|--|--|----|---------------|------------|--|--|--|----|----------------------------|------------|--|--|--|----|------------------------|------------|--|--|--|----|-----------------------------|------------|--|--|--|----|----------------------|------------|--|--|--|
| # | Description | Date | Drawn By | VJT | VJT | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 01 | Planning And Zoning Submission | 02.01.2023 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 02 | Building Permit Submission | 05.08.2023 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 03 | Comment Responses | 09.27.2023 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 04 | Change Order | 03.20.2024 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 05 | Site Drawings | 05.28.2024 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 06 | Storm Pipe Material Update | 05.20.2024 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 07 | Water Line Realignment | 06.03.2024 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 08 | Drainage Calculation Update | 06.12.2024 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 09 | Comment Responses #2 | 07.17.2024 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

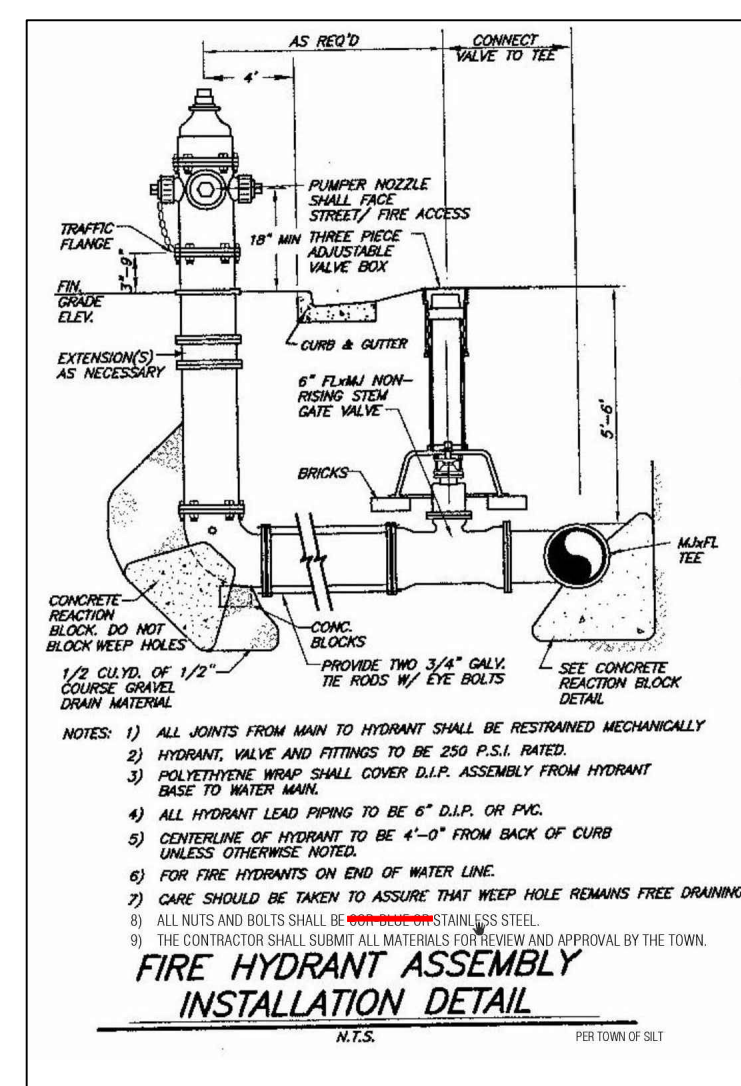
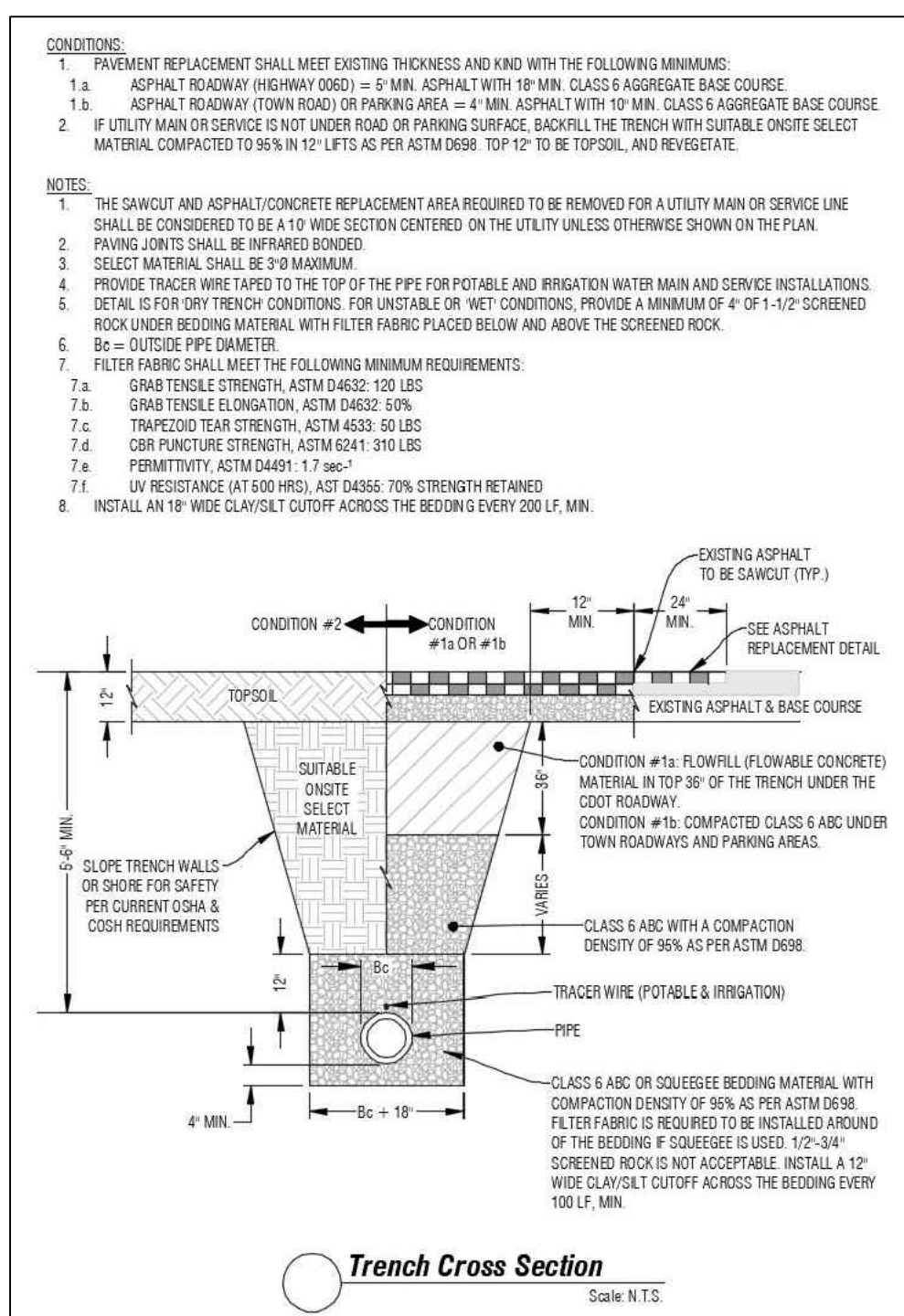
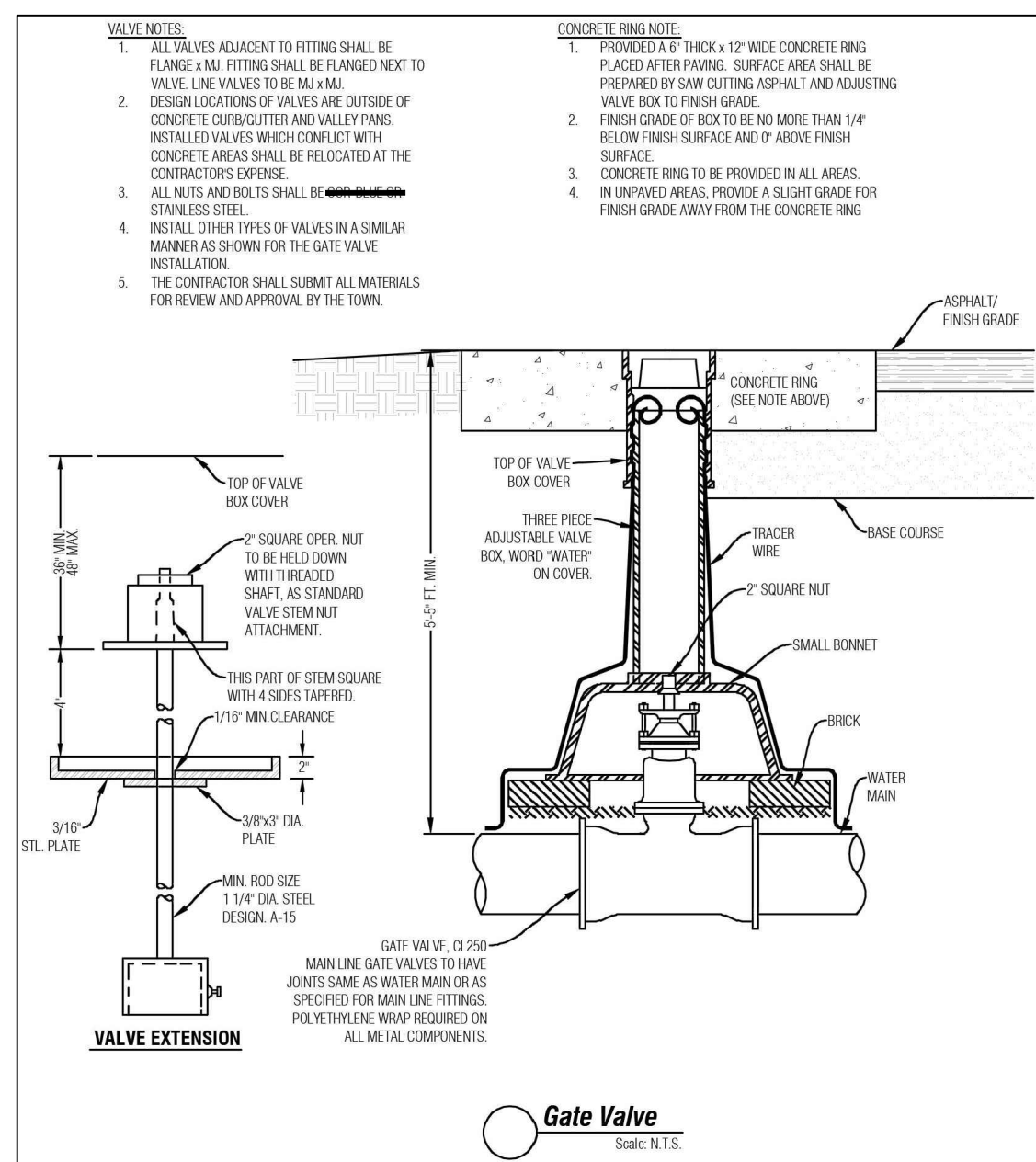
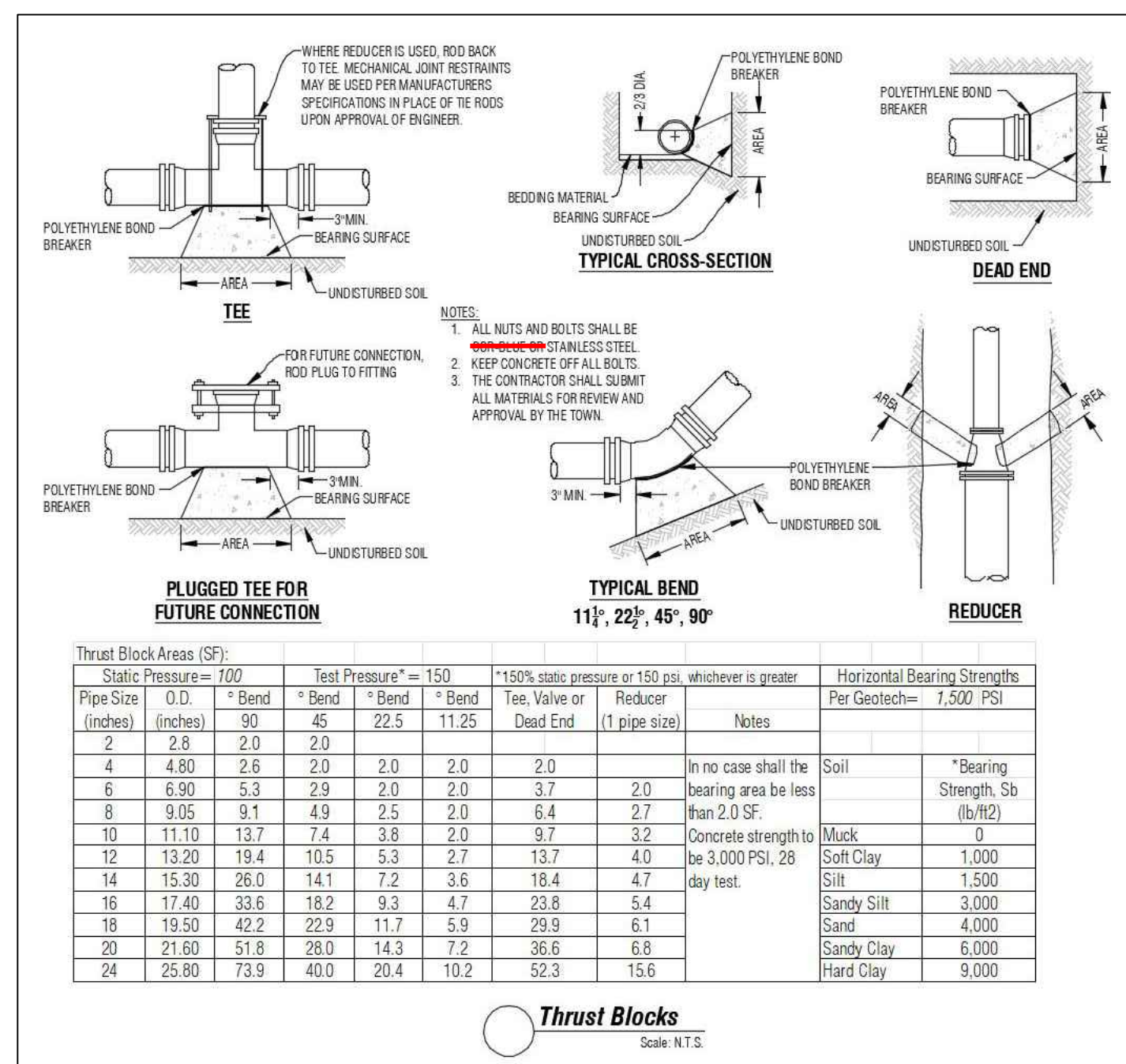
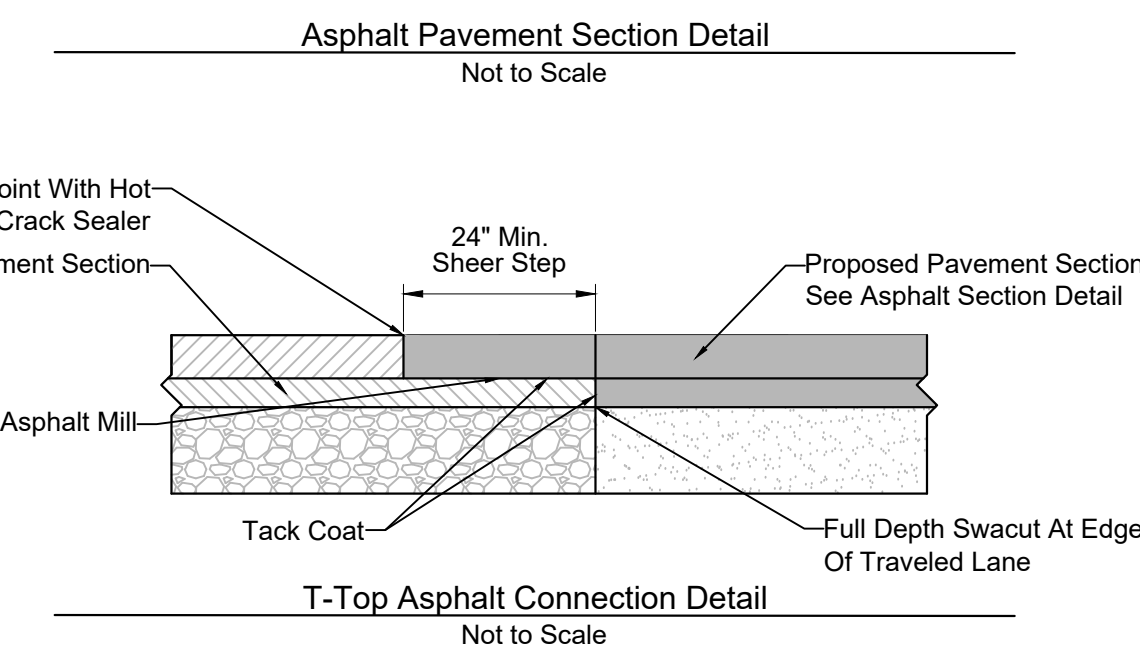
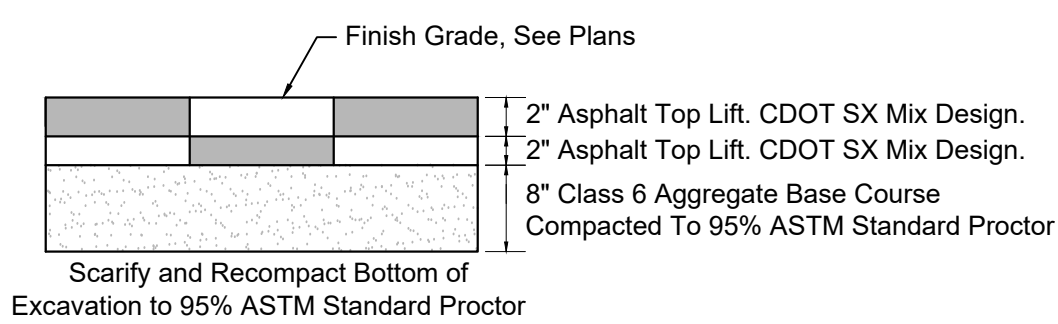
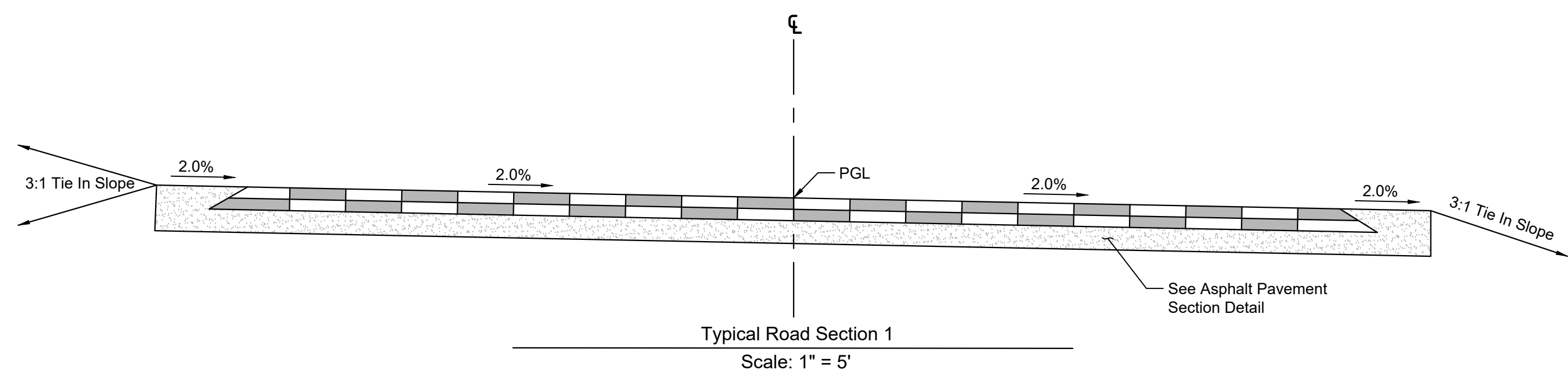
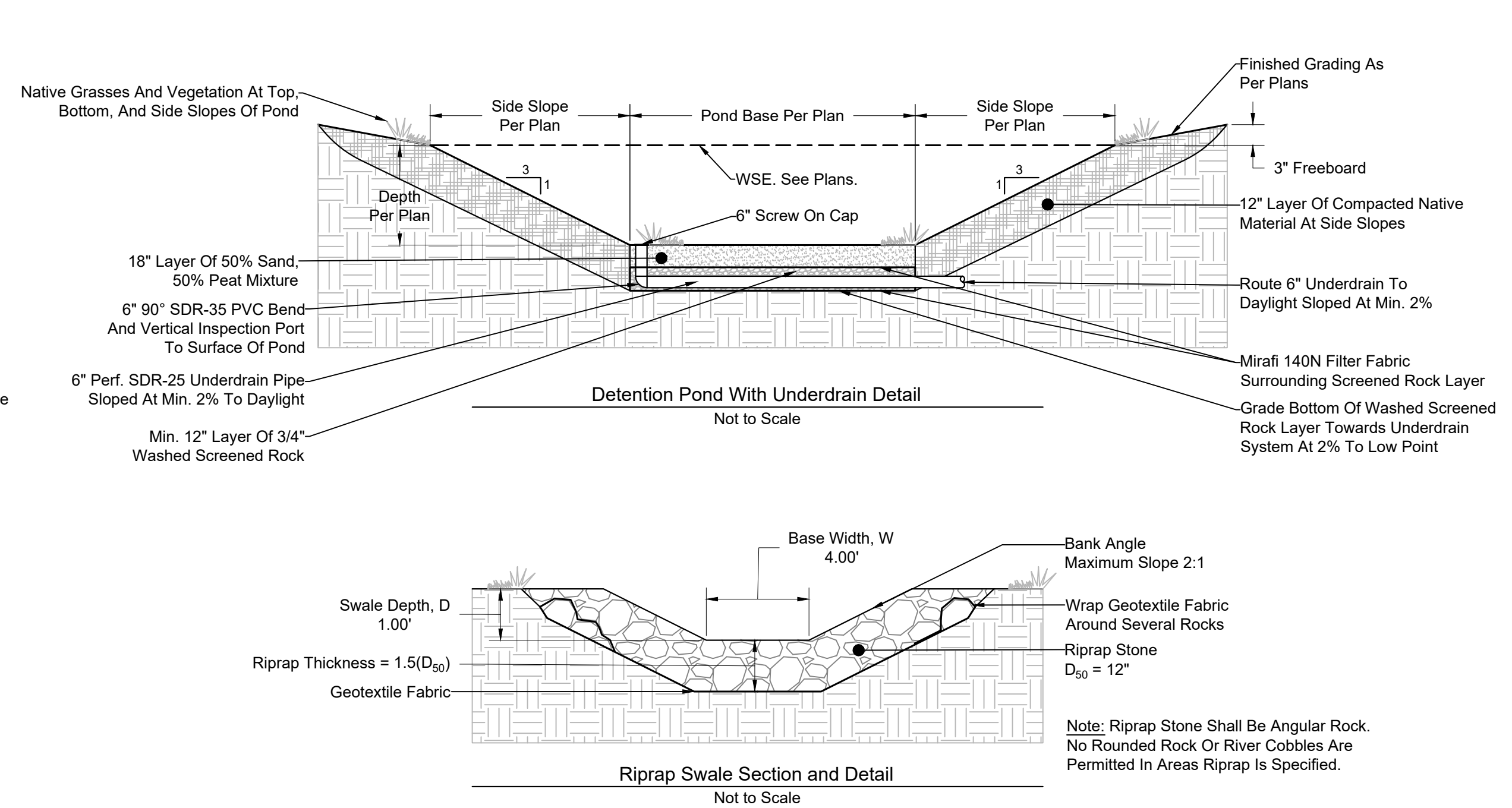
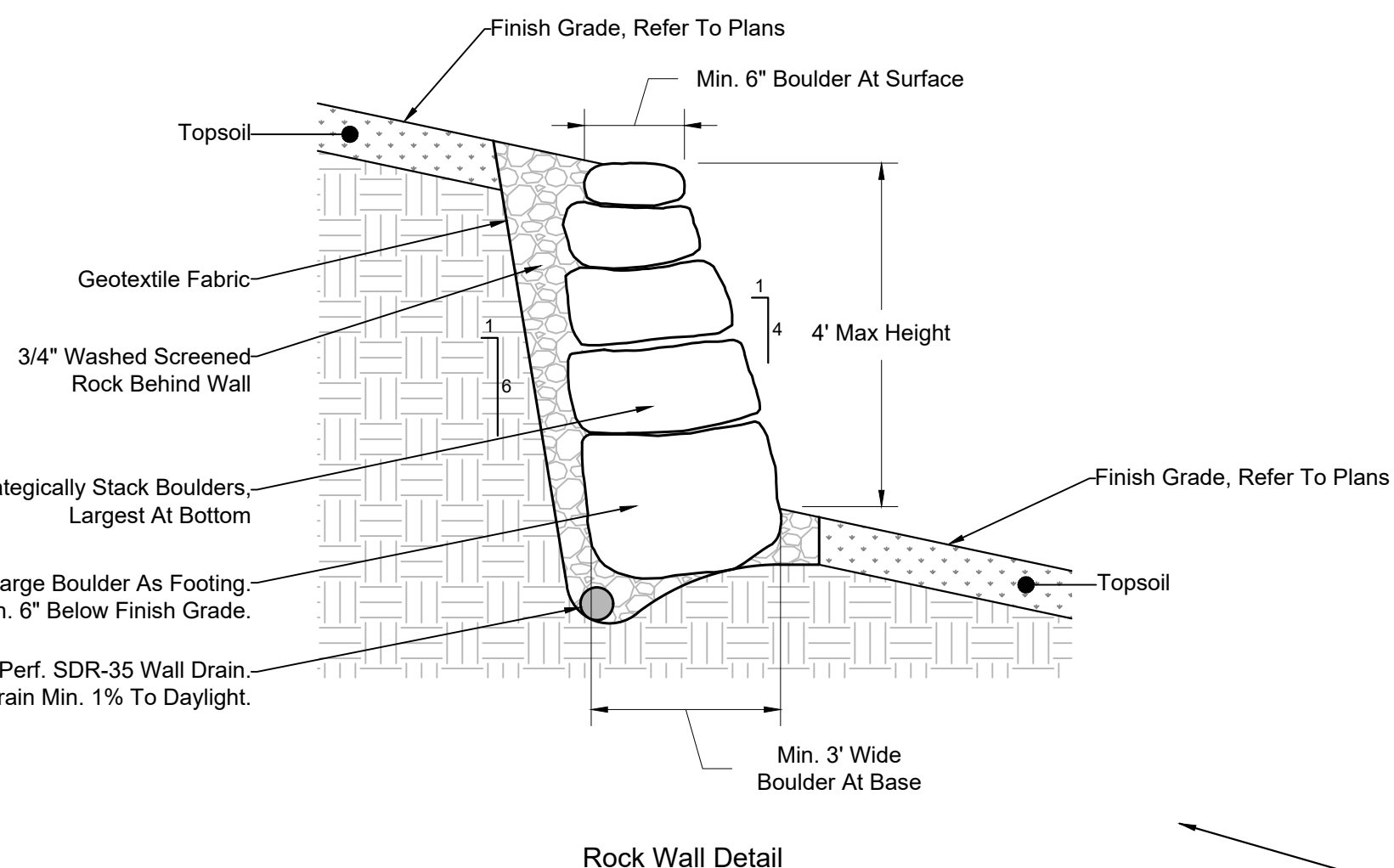
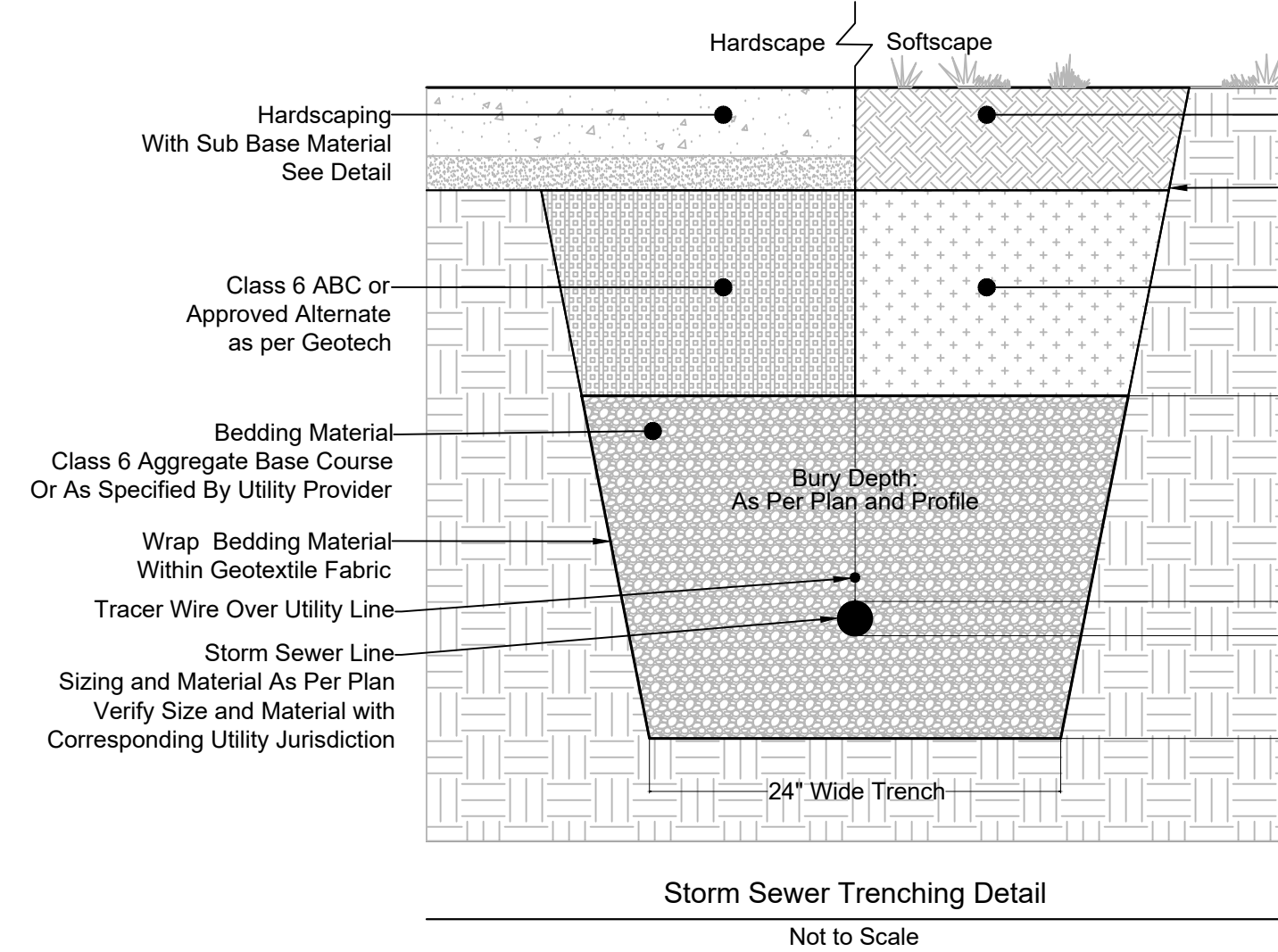


US Highway 6



C3.2
Of 20 Pages





**Silt Mega Storage
510 W Main Street
Silt, CO 81652
Drainage Report**

**May 8th, 2023
Revised July 26th, 2023
Revised June 12th, 2024
Revised July 17th, 2024**



Prepared By:
Vince Tomczak, P.E.
Crystal River Civil, LLC
Carbondale, CO 81623
vince@crystalrivercivil.com
(970) 510-5312





Table of Contents

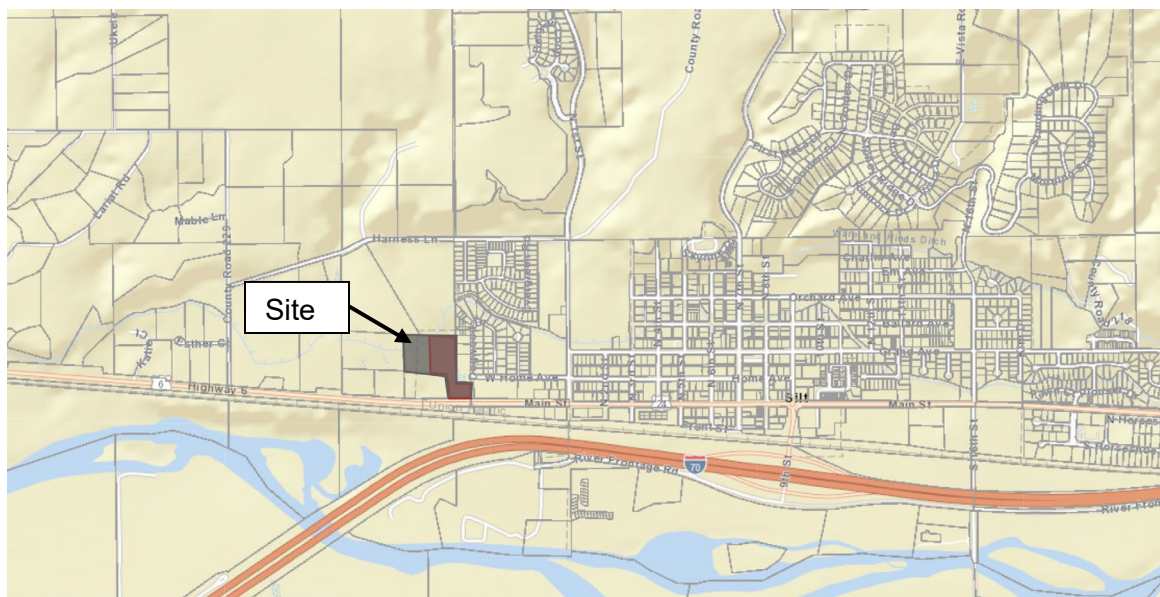
| | | |
|------|---|----|
| 1.0 | General Information | 3 |
| 1.1 | Existing Conditions..... | 3 |
| 1.2 | Proposed Conditions | 4 |
| 2.0 | Drainage Basins and Subbasins | 5 |
| 2.1 | Onsite Drainage Basins..... | 5 |
| 2.2 | Onsite Drainage Subbasins..... | 6 |
| 2.3 | Offsite Drainage Basins..... | 6 |
| 3.0 | Hydrologic Criteria..... | 7 |
| 3.1 | Runoff Calculation Method | 7 |
| 3.2 | Basin Analysis | 7 |
| 3.3 | Sub Basin Analysis..... | 8 |
| 3.4 | Water Quality and Storage Requirements..... | 9 |
| 4.0 | Hydraulic Criteria..... | 10 |
| 4.1 | Inlets..... | 10 |
| 4.2 | Pipes | 10 |
| 5.0 | Proposed Facilities..... | 11 |
| 5.1 | Detention Pond..... | 11 |
| 5.2 | Outfall Structure | 12 |
| 6.0 | Appendix A – AutoCAD Civil3D Hydraflow Analysis | 14 |
| 7.0 | Appendix B – NOAA Atlas 14 Rainfall Data And Hydraflow Hydrographs IDF Curve Data 18 | |
| 8.0 | Appendix C – USGS StreamStats Offsite Basin Report | 25 |
| 9.0 | Appendix D – AutoCAD Civil3D Detention Pond Volume Comparison Analysis..... | 28 |
| 10.0 | Appendix E – NRCS Web Soil Survey Data | 30 |

1.0 General Information

1.1 Existing Conditions

The property under evaluation within this drainage report is addressed as 510 Main Street in Silt, Colorado, 81652, specifically lots A and B of the subdivided parcel. These properties are also known as Garfield County GIS parcels #217909100035 and #217909100035. The legal descriptions of the lots are “Section: 9 Township: 6 Range: 92 LOT A, AMD. PLAT OF PARCEL 1, TERRELL ANNEX. #1” and “Section: 9 Township: 6 Range: 92 TR IN PARCEL 1 TERRELL ANNEXATION AKA LOT B FINAL PLAT PARCEL 1 TERRELL ANNEXATION #1”. The third lot of the subdivided parcel, Lot C, has already been developed and is not included in this report. For simplicity, both lots will be discussed as one property.

The undeveloped site is 7.22 acres and is currently being used by a landscaping company for storage and material staging. To the southwest of the property is Lot C, which has been developed as a storage unit facility. To the north and northwest are industrial properties that are used as storage yards, with a shed and a storage container on the western most property line. The eastern property line borders residential properties, and the southern property line is located along the US Highway 6 (Main Street) Right-Of-Way that is owned and maintained by Colorado Department Of Transportation, or CDOT. An existing fence surrounds the boundary line to keep the industrial uses and neighboring lots separated. The property is located within the incorporated town of Silt as shown on Garfield County GIS. The Lower Cactus Valley Ditch cuts through the northwest corner of the property, creating a small island of land on the property in the northwest corner.



510 Main Street – Lots A and B Vicinity Map

The existing access to the property is located off Highway 6 and is situated within an “access and utility” easement on Lot C, the neighboring property to the southwest. The drive includes a 16-foot-wide, asphalt-paved apron, which turns into a gravel surface. This then extends to the north within the easement and continues to the west and terminates near the southwestern property



line. This access appears to be mostly used by the landscaping company previously occupying the property, and occasionally used as an access point for the neighboring storage unit on Lot C, which is accessed via locked gates.

There are several easements located within the property. The access and utility easement mentioned above encroaches 15 feet on the property along the southwestern property line. An easement is in place following the alignment of the Lower Cactus Valley Ditch for irrigation use. Another 15-foot-wide irrigation easement is centered on the property, extending north-south for future irrigation uses. A 15-foot-wide waterline easement follows the eastern property line, and an overhead electric easement follows an electric line and traverses through the property from the south and terminates on the site. Additional easement information can be found on the survey included with this submission.

Most of the topography on the site is generally flat, with minor steep anomalies. The flat areas on the site vary from two to ten percent slopes, from the northwest to the southeast. The cut for the irrigation ditches, as well as the drainage on the east side of the property vary from 30 percent to 50 percent slopes. General topography slopes from the northwest to the southeast. The point of concentration for the site is located near an existing drainage headwall and culvert near the southern property line, located within CDOT Right-Of-Way. Offsite drainage concerns are minimal due to the irrigation and drainage ditches situated around the property, effectively conveying any runoff away from the site. Vegetation includes native grasses and mature trees, which are located on the central and northern portions of the property. The southeast portion of the property includes more vegetation, due to the apparent use of the drainage channel along the eastern property line for town irrigation. This drainage channel is routed under Highway 6 via the culvert mentioned previously and is also used as an overflow for the irrigation pond located on the neighboring property to the east.

Along with the overhead electric line cited in this report, the property also has a water service stub that is located to the north of Lot C. The stub out is assumed to be connected to the water main located to the east of the property. Communication pedestals are located just west of the access and within Highway 6 Right-Of-Way. Gas and sanitary sewer service could not be located and are assumed to not be located on the property. All underground utility information will be verified for permit level submission.

1.2 Proposed Conditions

The proposed conditions at 510 W Main Street in Silt, CO include the construction of a large storage unit facility located within the central area of the parcel in between US Highway 6 and the Lower Cactus Ditch. The units consist of eleven separate structures that utilize a stepped foundation to minimize grading to follow the existing topography of the site. The structures vary in size from 4,760 to 13,600 square feet. The development includes 108 storage units, totaling just over 71,000 square feet of structure area. All structures are located outside of building setbacks or easements delineated on the drawings.

Associated infrastructure is included with the development to support the storage unit construction. The interior circulation within the complex is composed of asphalt aisles with inlets strategically placed for adequate drainage control. The collection of roof runoff will be captured via downspouts and routed to the southeast in a pipe network. Perimeter swales are used to divert offsite drainage around the property, away from any structures. A detention pond is proposed to the southeast of the development for drainage detention collected on site. All historic drainage



paths, including the large offsite drainage to the east of the development, are not impacted for this project.

The site is accessed via US Highway 6 to the south of the parcel. The project has submitted a new CDOT access permit for the development, as there is no existing permit in place for the site under evaluation. The access follows the existing The US Highway 6 and River Frontage Road Access Control Plan (ACP) that had been approved by CDOT, Garfield County, and the Town of Silt in January 2010. Once the Notice to Proceed (NTP) from CDOT is provided to the project, it will be forwarded to the Town of Silt.

The access accommodates all ingress and egress of the design vehicle for the site, which is a motor home and boat trailer (MH/B) as defined in AASHTO's "A Policy on Geometric Design of Highways and Streets". The access road from the access point to the storage unit complex is ten feet wide with two-foot gravel shoulders on each side. The asphalt paved road, which is approximately 550 feet long, does not exceed six percent slopes along the centerline and includes a two percent cross slope towards the east for drainage. All runoff from the road is routed to the detention pond or follows the existing drainage path through a box culvert located under US Highway 6.

A water line extension from the Town of Silt Public Works water main is proposed to supply fire hydrants to the site as directed by the Colorado River Fire Rescue Division Chief. The water line will tee off the existing Town of Silt main running within the access and utility easement located to the south of the storage units. A minor improvement to achieve cover over the existing water line under the rip rap drainage ditch is proposed. A hydrant is proposed at the southeastern corner and another at the western edge of the storage unit complex. Electric infrastructure is proposed for the development to supply interior lights and individual outlets in each storage unit. The electric service will extend from a new transformer from the Xcel Energy overhead electric line. Each storage unit structure includes service lines. No gas, telephone, or communication utility infrastructure is proposed for the development. Refer to the utility plan included in the building permit civil plans regarding utility alignments and equipment locations.

2.0 Drainage Basins and Subbasins

2.1 Onsite Drainage Basins

The site has been analyzed as five drainage basins that contain the proposed development. The point of concentration for all five basins is the proposed detention pond that is in the southeast corner of the property, near US Highway 6.

Basin 1 contains 14,450 square feet and is 100% impervious. This includes the roof areas from the northern most storage unit and the two eastern most storage unit structures. All runoff from the roofs is collected via gutter and downspout systems and routed to a perimeter drainage system. The drainage system, named Storm System A, daylights to the south of the basin into a drainage channel which ultimately terminates at the detention pond.

Basin 2 consists of 104,787 square feet and is 97% impervious. Basin 2 is comprised of the interior circulation of the storage unit facility. Impervious areas include the interior asphalt drive



aisles, roof areas of the interior storage unit structures, and the two northern most roof structures. The northern roof areas are collected via gutter and downspout system for the northern structures. The interior structures drain onto the asphalt pavement and are collected by the mentioned interior inlets within the asphalt pavement. The asphalt pavement areas are collected by circular inlets as well. All collected runoff is conveyed through a piping system, named Storm System B, that is located throughout the interior of the site, below the asphalt pavement. This system daylights to the east and into the drainage channel, which is routed to the detention pond.

Basin 3 includes 22,500 square feet and is 99% impervious. This area consists of roof structures from the two westernmost and the two southernmost storage unit structures and is collected through a gutter and downspout system. The downspouts tie into a perimeter system behind the structures, named Storm System C. Storm System C is routed to the east and daylights at the drainage channel which eventually leads to the detention pond.

Basin 4 contains 18,099 square feet and is 26% impervious. Basin 4 includes a large amount of the asphalt paved access road, the green space in between the drainage channel and the access road, and the drainage channel itself. The drainage channel collects Basin 4 via sheetflowing. All runoff is routed to the detention pond via the channel. There is no pipe or structure system for Basin 4.

Basin 5 is 11,370 square feet and is 16% impervious. A majority of this basin includes the detention pond itself, along with a portion of the asphalt paved access road and the green space between the access road and the pond. All runoff is collected by the detention pond by sheetflowing condition. There is no pipe or structure system for Basin 5.

The detention pond is sized for full detention of the 100-year, 1-hour storm event. These basins are shown on the civil plans included with the building permit submission. A summary of all five basins along with their characteristics and peak flows are shown in Section 3.2 of this report.

2.2 Onsite Drainage Subbasins

To size all piping and inlets, subbasins were required to be analyzed for the site. Subbasins 1.1 through 1.3, 2.2, 2.3, and 3.1 through 3.4 are all roof areas from the storage unit roof structures that are collected via gutter and downspouts that tie directly into storm piping. Subbasins 2.1, 2.4 through 2.17 are roof areas drainage onto the asphalt drive aisles and areas of asphalt pavement areas that are collected by circular inlets that tie into Storm System B. Subbasin 4.1 includes the asphalt road pavement and green space that sheet flows into the drainage channel. Subbasin 5.1 includes asphalt pavement from the access road and green space which sheetflows into the detention pond.

These subbasins are shown within the Subbasins sheet within the civil drawings. A summary showing all sub basin characteristics and their peak discharges can be seen in section 3.3 of this report.

2.3 Offsite Drainage Basins

A large offsite drainage basin flows through the southeastern section of the property to the east of the proposed detention pond. Due to size and complexity of the site, this basin was analyzed using the USGS StreamStats program for the peak flows of the basin routed through the site to ensure no ponding. This offsite basin is determined to be 96 acres in area with a peak flow for



the 100-year storm event of 149 cfs. The entire peak flow report from StreamStats is included with this report.

This large offsite basin flows through a series of detention ponds, grassy drainage channels, an irrigation pond, and ultimately through a seven-foot wide by ten-foot-tall box culvert under US Highway 6 located to the south of the proposed, onsite detention pond. The conveyance of the basin through the box culvert was analyzed to confirm the fill area of the proposed detention pond would not be affected during a large storm event. The box culvert is confirmed to have capacity for the 149 cfs using AutoCad Civil 3D Hydraflow Express software. A conservative slope for the culvert of 0.5% is assumed in the analysis due to the culvert having sediment buildup on the base. It is recommended for CDOT to clean the culvert from sediment and continue maintenance to ensure adequate conveyance for the offsite basin. The box culvert analysis using the Hydraflow Express software is included in the appendices.

3.0 Hydrologic Criteria

3.1 Runoff Calculation Method

The peak discharge shown in this analysis uses the Rational Method. This requires several variables to be determined, including values for intensity, the runoff coefficient, and basin area. Using the rainfall data from NOAA Atlas 14 Point Precipitation Frequency Estimates for the Town of Silt, intensity equations are derived using the Intensity Duration Frequency (IDF) Curves generated from AutoCAD Civil 3D Hydraflow Hydrographs software for the 10-year and 100-year storm events. The Hydraflow IDF Curves and the NOAA Atlas 14 data are included within this report. Minimum time of concentration values of 5 minutes are used for all drainage basins due to the proximity of drainage facilities.

The runoff coefficient for each basin was established using the percent impervious of the basin and the soil type in conjunction with the most up-to-date values as presented in the Mile High Flood District Drainage Design Values for the specified soil type in the area. For this project, an NRCS Soil Classification of C was utilized.

3.2 Basin Analysis

The tables below summarize the calculations that were performed on the basins using the methods described in Section 3.1 of this report.



| 10-Year 1-Hour Onsite Peak Discharge Calculations | | | | | | | |
|---|--------------------------|--------------------------|--------------------|-------------------|---|----------------------------------|------------------------------|
| | | Soil Class | C | Intensity (in/hr) | $I = \frac{41.474}{(10.3 + T_c)^{0.958}}$ | Discharge (ft ³ /Sec) | $Q = CIA_t$ |
| Note: For basins with an overland flow length of less than 500 feet, a Time of Concentration is assumed at 5 minutes. These calculations are assuming a NRCS Hydrologic Soil Class C. Rainfall depth values derived from NOAA Atlas 14 data. Intensity equation has been derived from the Aspen area NOAA Atlas 14 IDF Curve. | | | | | | | |
| Predeveloped Conditions | | | | | | | |
| Basin | Total Area | Impervious Area | Percent Impervious | C Value | Time of Concentration | Intensity | Peak Discharge |
| (Name) | A_t (ft ²) | A_i (ft ²) | A_i/A_t (%) | | T_c (min) | I (in/hr) | Q_p (ft ³ /sec) |
| 1 | 14450 | 0 | 0.00% | 0.130 | 5 | 3.04 | 0.13 |
| 2 | 104787 | 0 | 0.00% | 0.130 | 5 | 3.04 | 0.95 |
| 3 | 22500 | 0 | 0.00% | 0.130 | 5 | 3.04 | 0.20 |
| 4 | 18099 | 0 | 0.00% | 0.130 | 5 | 3.04 | 0.16 |
| 5 | 11370 | 0 | 0.00% | 0.130 | 5 | 3.04 | 0.10 |
| Combined | 171206 | 0 | 0.00% | 0.130 | 5 | 3.04 | 1.55 |
| Developed Conditions | | | | | | | |
| Basin | Total Area | Impervious Area | Percent Impervious | C Value | Time of Concentration | Intensity | Peak Discharge |
| (Name) | A_t (ft ²) | A_i (ft ²) | A_i/A_t (%) | | T_c (min) | I (in/hr) | Q_p (ft ³ /sec) |
| 1 | 14450 | 14450 | 100.00% | 0.870 | 5 | 3.04 | 0.88 |
| 2 | 104787 | 102116 | 97.45% | 0.830 | 5 | 3.04 | 6.07 |
| 3 | 22500 | 22260 | 98.93% | 0.830 | 5 | 3.04 | 1.30 |
| 4 | 18099 | 4708 | 26.01% | 0.320 | 5 | 3.04 | 0.40 |
| 5 | 11370 | 1768 | 15.55% | 0.240 | 5 | 3.04 | 0.19 |
| Combined | 171206 | 145302 | 84.87% | 0.720 | 5 | 3.04 | 8.60 |

| 100-Year 1-Hour Onsite Peak Discharge Calculations | | | | | | | |
|---|--------------------------|--------------------------|--------------------|-------------------|---|----------------------------------|------------------------------|
| | | Soil Class | C | Intensity (in/hr) | $I = \frac{96.058}{(11.4 + T_c)^{1.027}}$ | Discharge (ft ³ /Sec) | $Q = CIA_t$ |
| Note: For basins with an overland flow length of less than 500 feet, a Time of Concentration is assumed at 5 minutes. These calculations are assuming a NRCS Hydrologic Soil Class C. Rainfall depth values derived from NOAA Atlas 14 data. Intensity equation has been derived from the Aspen area NOAA Atlas 14 IDF Curve. | | | | | | | |
| Predeveloped Conditions | | | | | | | |
| Basin | Total Area | Impervious Area | Percent Impervious | C Value | Time of Concentration | Intensity | Peak Discharge |
| (Name) | A_t (ft ²) | A_i (ft ²) | A_i/A_t (%) | | T_c (min) | I (in/hr) | Q_p (ft ³ /sec) |
| 1 | 14450 | 0 | 0.00% | 0.480 | 5 | 5.43 | 0.86 |
| 2 | 104787 | 0 | 0.00% | 0.480 | 5 | 5.43 | 6.27 |
| 3 | 22500 | 0 | 0.00% | 0.480 | 5 | 5.43 | 1.35 |
| 4 | 18099 | 0 | 0.00% | 0.480 | 5 | 5.43 | 1.08 |
| 5 | 11370 | 0 | 0.00% | 0.480 | 5 | 5.43 | 0.68 |
| Combined | 171206 | 0 | 0.00% | 0.480 | 5 | 5.43 | 10.25 |
| Developed Conditions | | | | | | | |
| Basin | Total Area | Impervious Area | Percent Impervious | C Value | Time of Concentration | Intensity | Peak Discharge |
| (Name) | A_t (ft ²) | A_i (ft ²) | A_i/A_t (%) | | T_c (min) | I (in/hr) | Q_p (ft ³ /sec) |
| 1 | 14450 | 14450 | 100.00% | 0.890 | 5 | 5.43 | 1.60 |
| 2 | 104787 | 102116 | 97.45% | 0.870 | 5 | 5.43 | 11.37 |
| 3 | 22500 | 22260 | 98.93% | 0.870 | 5 | 5.43 | 2.44 |
| 4 | 18099 | 4708 | 26.01% | 0.590 | 5 | 5.43 | 1.33 |
| 5 | 11370 | 1768 | 15.55% | 0.550 | 5 | 5.43 | 0.78 |
| Combined | 171206 | 145302 | 84.87% | 0.810 | 5 | 5.43 | 17.29 |

3.3 Sub Basin Analysis

In addition to determining the peak discharge from basins, the areas are then subdivided into subbasins to calculate their peak discharges. This allows for verification that all pipes and intakes into the proposed conveyance structures have capacity. All conveyance structures and piping have capacity to convey up to the 100-year, 1-hour storm event. Using the same procedure discussed in 3.1 of this drainage report, the peak discharge of each sub basin was determined. For the small subbasins, a time of concentration of 5 minutes is used.

Below is a table summarizing the values required for the sub basin analysis.



| Basin Flow Rate Calculations | | | | | | | |
|---|---|--|--|---------------------------|---|----------------------------------|--|
| Rainfall depth, P ₁ (in) | 1.2 | Soil Class | C | Intensity (in/hr) | $I = \frac{96.058}{(11.4 + T_c)^{1.027}}$ | Discharge (ft ³ /Sec) | Q=CI A _i |
| The values shown in this table are analysing a 100-Year 1-Hour Storm Event. For basins with a flow length of less than 500 feet, a Time of Concentration of 5 minutes is assumed. | | | | | | | |
| Developed Conditions | | | | | | | |
| Sub Basin (Name) | Total Area A _t (ft ²) | Impervious Area A _i (ft ²) | Percent Impervious A _i /A _t (%) | C Value C (From Table) | Time of Concentration T _c (min) | Intensity I (in/hr) | Flow Rate Q _s (ft ³ /sec) |
| 1.1 | 5100 | 5100 | 100.00% | 0.89 | 5 | 5.43 | 0.57 |
| 1.2 | 4760 | 4760 | 100.00% | 0.89 | 5 | 5.43 | 0.53 |
| 1.3 | 4590 | 4590 | 100.00% | 0.89 | 5 | 5.43 | 0.51 |
| 2.1 | 6492 | 6492 | 100.00% | 0.89 | 5 | 5.43 | 0.72 |
| 2.2 | 7395 | 7395 | 100.00% | 0.89 | 5 | 5.43 | 0.82 |
| 2.3 | 4760 | 4760 | 100.00% | 0.89 | 5 | 5.43 | 0.53 |
| 2.4 | 4950 | 4950 | 100.00% | 0.89 | 5 | 5.43 | 0.55 |
| 2.5 | 6415 | 6415 | 100.00% | 0.89 | 5 | 5.43 | 0.71 |
| 2.6 | 10846 | 10846 | 100.00% | 0.89 | 5 | 5.43 | 1.20 |
| 2.7 | 3081 | 1890 | 61.34% | 0.73 | 5 | 5.43 | 0.28 |
| 2.8 | 4410 | 3290 | 74.60% | 0.77 | 5 | 5.43 | 0.42 |
| 2.9 | 4430 | 4390 | 99.10% | 0.87 | 5 | 5.43 | 0.48 |
| 2.10 | 6120 | 6120 | 100.00% | 0.89 | 5 | 5.43 | 0.68 |
| 2.11 | 4400 | 4400 | 100.00% | 0.89 | 5 | 5.43 | 0.49 |
| 2.12 | 2979 | 2739 | 91.94% | 0.85 | 5 | 5.43 | 0.32 |
| 2.13 | 3300 | 3300 | 100.00% | 0.89 | 5 | 5.43 | 0.37 |
| 2.14 | 12344 | 12344 | 100.00% | 0.89 | 5 | 5.43 | 1.37 |
| 2.15 | 7738 | 7698 | 99.48% | 0.87 | 5 | 5.43 | 0.84 |
| 2.16 | 11827 | 11787 | 99.66% | 0.87 | 5 | 5.43 | 1.28 |
| 2.17 | 3300 | 3300 | 100.00% | 0.89 | 5 | 5.43 | 0.37 |
| 3.1 | 2800 | 2800 | 100.00% | 0.89 | 5 | 5.43 | 0.31 |
| 3.2 | 3600 | 3360 | 93.33% | 0.85 | 5 | 5.43 | 0.38 |
| 3.3 | 11200 | 11200 | 100.00% | 0.89 | 5 | 5.43 | 1.24 |
| 3.4 | 4900 | 4900 | 100.00% | 0.89 | 5 | 5.43 | 0.54 |
| 4.1 | 18099 | 4708 | 26.01% | 0.59 | 5 | 5.43 | 1.33 |
| 5.1 | 11370 | 1768 | 15.55% | 0.55 | 5 | 5.43 | 0.78 |

3.4 Water Quality and Storage Requirements

To make certain the runoff from the site is adequately detained and no downstream infrastructure is impacted by the proposed development, the detention pond has been sized for full detention of the 100-year, 1-hour storm event. A factor of safety (FOS) of 1.25 is used on the full detention storage calculation. An overflow on the detention pond is proposed on the northeastern edge for any rainfall events exceeding the design storm. To determine how much storage is necessary for the capture basins, the 100-year, 1-hour storm event depth described in the NOAA Atlas 14 database is applied to all impervious areas. Full detention storage volume is the most conservative detention volume calculation, ensuring no downstream infrastructure is impacted by the development's runoff. The full detention volume calculation is shown below.

| Full Detention Storage | | | | | | | |
|------------------------|----------------------------------|----------------------------------|---------------------------------------|-------------------|------------------------------|---------------------------|--|
| Basin (Name) | Point of Concentration (name) | Total Area (ft ²) | Impervious Area (ft ²) | Impervious (%) | Full Detention Depth (in) | Factor of Safety (FOS) | Full Detention Storage (ft ³) |
| 1-5 | Detention Pond | 171206.00 | 145302.00 | 84.87% | 1.2 | 1.25 | 18163 |

4.0 Hydraulic Criteria

4.1 Inlets

The peak flows for the 100-year event in each sub-basin were used to size the proposed inlets. At-grade inlet equations from Chapter 7 of the Mile High Flood District's Criteria Manual Volume 1 were used in these calculations. The equations incorporate a 50 percent clogging factor and assume a 40 percent opening in the grates. Water depths used in these calculations are based on the grading around each inlet and safe ponding levels above the inlets. Each inlet takes the smaller value of the weir intersection capacity and the orifice opening capacity, whichever is the smallest. The proposed dimensions of each inlet must be greater than the subbasin peak flow for the 100-year storm. The tables below summarize the calculations for each inlet.

| Round Inlet Capacity Calculation | | | | | | |
|--|---|--|------------------------------|--|----------------------------|--------------------------|
| Effective Inlet Area, A_e (ft ²) | $A_e = (1 - C_g)(\pi(\frac{D_e/12}{2})^2)m$ | Inlet Orifice Capacity, Q_o (ft ³ /s) | $Q_o = C_o A_e \sqrt{2gY_s}$ | Weir Flow Capacity, Q_w (ft ³ /s) | $Q_w = C_w P_e Y_s^{1.5}$ | |
| Orifice Coefficient, C_o | 0.65 | Clogging Factor, C_g | 0.5 | Area Opening Capacity Ratio, m | 0.6 | |
| Weir Coefficient, C_w | 3 | Water Depth Above Inlet, Y_e (ft) | 0.25 | Effective Weir Length, P_e (ft) | $P_e = (1 - C_g)P$ | |
| | | | | | | |
| Inlet | Associated Subbasin | Inlet Diameter | Effective Inlet Area | Orifice Flow Capacity | Weir Flow Capacity | Subbasin Flow |
| (Name) | (Name) | D_e (in) | A_e (ft ²) | Q_o (ft ³ /s) | Q_w (ft ³ /s) | Q (ft ³ /s) |
| B1-Inlet | 2.1 | 15 | 0.37 | 0.96 | 1.47 | 0.72 |
| B8-Inlet | 2.4 | 15 | 0.37 | 0.96 | 1.47 | 0.55 |
| B9-Inlet | 2.5 | 18 | 0.53 | 1.38 | 1.77 | 0.71 |
| B10-Inlet | 2.6 | 18 | 0.53 | 1.38 | 1.77 | 1.20 |
| B11-Inlet | 2.7 | 15 | 0.37 | 0.96 | 1.47 | 0.28 |
| B12-Inlet | 2.8 | 18 | 0.53 | 1.38 | 1.77 | 0.42 |
| B13-Inlet | 2.9 | 18 | 0.53 | 1.38 | 1.77 | 0.48 |
| B14-Inlet | 2.10 | 18 | 0.53 | 1.38 | 1.77 | 0.68 |
| B16-Inlet | 2.11 | 24 | 0.94 | 2.46 | 2.36 | 0.49 |
| B17-Inlet | 2.12 | 15 | 0.37 | 0.96 | 1.47 | 0.32 |
| B18-Inlet | 2.13 | 18 | 0.53 | 1.38 | 1.77 | 0.37 |
| B19-Inlet | 2.14 | 18 | 0.53 | 1.38 | 1.77 | 1.37 |
| B20-Inlet | 2.15 | 18 | 0.53 | 1.38 | 1.77 | 0.84 |
| B21-Inlet | 2.16 | 18 | 0.53 | 1.38 | 1.77 | 1.28 |
| B22-Inlet | 2.17 | 24 | 0.94 | 2.46 | 2.36 | 0.37 |

4.2 Pipes

The pipes were sized using the calculated flows from the sub-basins that release into them through inlets and downspouts. The TOC is below 5 minutes for all sub-basins, so a reduction was not taken for the intensity. Depth of flow was also calculated in the spreadsheets below to verify piping capacity. Calculated pipe sizes and depth of flow for onsite pipes are shown below.



| Pipe Capacity Calculations | | | | | | | |
|--|-----------------------------|--|--|---|--|--|--|
| Pipe Sectional Area (ft ²) | $A_p = \pi \frac{D_p^2}{4}$ | PVC Manning Coefficient, n | PVC (4"-12") = 0.01 ADS (15"-24") = 0.012 | Mannings Equation (ft ³ /s) | $Q_c = \left(\frac{1.49}{n}\right) A_p \left(\frac{D_p}{48}\right)^{2/3} \sqrt{S}$ | | |
| Note: Pipe Flow Rate (Q _p) is the summation of the flow rates from the the collected sub basins through each pipe, or Q _s . | | | | | | | |
| Pipe (Name) | Collected Sub Basins (#) | Pipe Flow Rate Q _p (ft ³ /sec) | Slope S (%) | Prop. Pipe Diameter D _p (in) | Pipe Sectional Area A _p (ft ²) | Pipe Max Flow Rate Q _c (ft ³ /s) | Percent of Capacity Q _p /Q _c (%) |
| A1 | 1.1 | 0.57 | 1.00% | 6 | 0.196 | 0.731 | 0.77 |
| A2 | 1.1 | 0.57 | 1.00% | 6 | 0.196 | 0.731 | 0.77 |
| A3 | 1.1 | 0.57 | 1.00% | 6 | 0.196 | 0.731 | 0.77 |
| A4 | 1.1-1.2 | 1.09 | 1.00% | 8 | 0.349 | 1.574 | 0.69 |
| A5 | 1.1-1.2 | 1.09 | 1.00% | 8 | 0.349 | 1.574 | 0.69 |
| A6 | 1.1-1.3 | 1.60 | 1.00% | 10 | 0.545 | 2.855 | 0.56 |
| A7 | 1.1-1.3 | 1.60 | 1.00% | 10 | 0.545 | 2.855 | 0.56 |
| B1 | 2.1 | 0.72 | 1.00% | 6 | 0.196 | 0.731 | 0.99 |
| B2 | 2.1 | 0.72 | 1.00% | 6 | 0.196 | 0.731 | 0.99 |
| B3 | 2.2 | 0.82 | 1.00% | 8 | 0.349 | 1.574 | 0.52 |
| B4 | 2.2 | 0.82 | 1.00% | 8 | 0.349 | 1.574 | 0.52 |
| B5 | 2.2 | 0.82 | 1.00% | 8 | 0.349 | 1.574 | 0.52 |
| B6 | 2.2-2.3 | 1.35 | 1.00% | 8 | 0.349 | 1.574 | 0.86 |
| B7 | 2.1-2.3 | 2.07 | 1.00% | 10 | 0.545 | 2.855 | 0.72 |
| B8 | 2.1-2.4 | 2.62 | 1.00% | 10 | 0.545 | 2.855 | 0.92 |
| B9 | 2.5 | 0.71 | 1.00% | 6 | 0.196 | 0.731 | 0.97 |
| B10 | 2.5-2.6 | 1.92 | 1.00% | 10 | 0.545 | 2.855 | 0.67 |
| B11 | 2.7 | 0.28 | 1.00% | 6 | 0.196 | 0.731 | 0.38 |
| B12 | 2.5-2.8 | 2.62 | 1.00% | 10 | 0.545 | 2.855 | 0.92 |
| B13 | 2.5-2.9 | 3.10 | 1.00% | 12 | 0.785 | 4.642 | 0.67 |
| B14 | 2.5-2.10 | 3.78 | 1.00% | 12 | 0.785 | 4.642 | 0.81 |
| B15 | 2.1-2.10 | 6.40 | 1.00% | 15 | 1.227 | 7.013 | 0.91 |
| B16 | 2.1-2.11 | 6.89 | 1.00% | 15 | 1.227 | 7.013 | 0.98 |
| B17 | 2.12 | 0.32 | 1.00% | 6 | 0.196 | 0.731 | 0.43 |
| B18 | 2.12-2.13 | 0.68 | 1.00% | 6 | 0.196 | 0.731 | 0.93 |
| B19 | 2.12-2.14 | 2.05 | 1.00% | 10 | 0.545 | 2.855 | 0.72 |
| B20 | 2.12-2.15 | 2.89 | 1.00% | 12 | 0.785 | 4.642 | 0.62 |
| B21 | 2.12-2.16 | 4.17 | 1.00% | 12 | 0.785 | 4.642 | 0.90 |
| B22 | 2.1-2.17 | 11.43 | 3.00% | 15 | 1.227 | 12.148 | 0.94 |
| B23 | 2.1-2.17 | 11.43 | 3.00% | 15 | 1.227 | 12.148 | 0.94 |
| C1 | 3.1 | 0.31 | 1.00% | 6 | 0.196 | 0.731 | 0.43 |
| C2 | 3.1 | 0.31 | 1.00% | 6 | 0.196 | 0.731 | 0.43 |
| C3 | 3.1-3.2 | 0.69 | 1.00% | 6 | 0.196 | 0.731 | 0.95 |
| C4 | 3.1-3.2 | 0.69 | 1.00% | 6 | 0.196 | 0.731 | 0.95 |
| C5 | 3.1-3.3 | 1.94 | 1.00% | 10 | 0.545 | 2.855 | 0.68 |
| C6 | 3.1-3.4 | 2.48 | 1.44% | 10 | 0.545 | 3.425 | 0.72 |
| Outfall | Basins 1-5 | 17.29 | 6.50% | 18 | 1.766 | 29.076 | 0.59 |

5.0 Proposed Facilities

5.1 Detention Pond

The detention pond is the Point of Concentration for all collected basins for the project. The pond is sized to detain the full detention volume of all basins, up to the 100-year, 1-hour storm event rainfall depth of 1.20 inches as described on the NOAA Atlas 14 database. A factor of safety of 1.25 is used in the sizing calculation. AutoCAD Civil 3D Software is used to accurately calculate the detention pond capacity and compare to the calculated volume necessary for detention. The volumetric comparison of the water surface elevation to the pond geometry is



shown in the appendices of this report. Below is a calculation showing the pond has adequate volume for the full detention storage volume.

| Storage Calculation - Detention Basin | | | |
|---------------------------------------|------------------|---|-----------------------------|
| Detention Basin | Associated Basin | Detention Basin Capacity Volume | Calculated Volume Necessary |
| (Name) | (Name) | V_R (ft ³) (From Civil3D) | (ft ³) |
| Detention Pond | Basins 1-5 | 18954 | 18162.75 |

The pond shall not exceed 3:1 side slope from the top of pond to the pond bottom. A depth of five feet is proposed to meet detention requirements. A five-foot-wide berm sloped at five percent towards the pond is proposed surrounding the pond with an overflow/spillway at the northeast corner of the pond. The overflow drains to the existing drainage path of the large drainage to the east of the pond, as the site had historically drained. Due to underlying soil conditions, an underdrain is proposed below the filter media section of the pond. The underdrain ultimately flows to daylight below the pond embankment and towards the drainage to the east.

5.2 Outfall Structure

To control the runoff release from the detention pond, a concrete outfall structure has been proposed for the minor storm event (10-Year) and the major storm event (100-year). The full detention volume water levels for the major and minor storm events have been analyzed and show on the submitted civil drawing set. Below is a calculation showing the water levels calculated using Civil 3D software cut/fill analysis in respect to the full detention volumes.

| Detention Pond Water Levels | | | |
|-----------------------------|----------------------|--------------------|--|
| Storm Event | Full Detention Depth | Volume | Water Level Elevation (From Civil 3D) |
| (Name) | (in) | (ft ³) | (ft) |
| 10-Year, 1-Hour | 0.709 | 8584.9265 | 5448.81' |
| 100-Year, 1-Hour | 1.2 | 14530.2 | 5450.16' |

The concrete outfall structure is proposed to be a 4 foot wide, 4 foot long and 6.5 foot high structure with a weir and a metal grate at the top to prevent large debris and rodents from entering. The 2 foot wide by 1.35 foot high weir acts as a control structure for the 10-year storm event. This weir has capacity to convey the incoming 10-year storm event flow, 8.60 cfs, for the combination of Basins 1 through 5. The weir capacity has been calculated using AutoCAD Civil 3D Hydraflow and is included in the appendices.

The top of the outfall structure is open with the metal grate which acts as an inlet to control the water levels for the 100-year storm event. The 4 foot wide by four foot long, rectangular inlet has capacity for the incoming 100-year storm event flow, 17.29 cfs, for the combination of Basins 1 through 5. The rectangular inlet capacity calculation is shown below confirming orifice and weir opening capacity. The 0.84 foot water depth above the inlet corresponds to the elevation difference from the top of the outlet structure to the emergency overflow elevation located at the northeastern corner of the detention pond.



| Rectangular Inlet Capacity Calculation | | | | | | | |
|--|--|--|------------------------------|--|----------------------------|----------------------------|--------------------------|
| Effective Inlet Area, A_e (ft ²) | $A_e = (1 - C_g)(\pi(\frac{D_o}{2})^2)m$ | Inlet Orifice Capacity, Q_o (ft ³ /s) | $Q_o = C_o A_o \sqrt{2gV_s}$ | Weir Flow Capacity, Q_w (ft ³ /s) | $Q_w = C_w P_e Y_s^{1.5}$ | | |
| Orifice Coefficient, C_o | 0.65 | Clogging Factor, C_g | 0.5 | Area Opening Capacity Ratio, m | 0.6 | | |
| Weir Coefficient, C_w | 3 | Water Depth Above Inlet, Y_e (ft) | 0.84 | Effective Weir Length, P_e (ft) | $P_e = (1 - C_g)P$ | | |
| | | | | | | | |
| Inlet | Associated Basins | Inlet Length | Inlet Width | Effective Inlet Area | Orifice Flow Capacity | Weir Flow Capacity | Subbasin Flow |
| (Name) | (Name) | (in) | (in) | A_e (ft ²) | Q_o (ft ³ /s) | Q_w (ft ³ /s) | Q (ft ³ /s) |
| 100-Year Outlet | Basins 1-5 | 48 | 48 | 4.80 | 22.95 | 18.48 | 17.29 |

To convey the stormwater entering the outfall structure, an outlet pipe is proposed at the bottom the outfall, along with a 6 inch sump. The pipe is an 18 inch ADS drain line sloped at 6.5 percent to daylight near the existing drainage flowline located to the east of the detention pond. This outlet pipe has capacity to convey the 100-year storm event. The outlet will include a flared end section and rip rap to mitigate erosion. To confirm pipe conveyance for the 100-year storm event, the calculation is shown on the pipe conveyance calculation mentioned in this report.

To control the projects stormwater for any storm events exceeding the 100-year storm event, an emergency spillway is proposed. The 10 foot wide channel includes a four foot bottom width that is one foot lower than the top of the channel. The side slopes are 3:1 to account for the entire 10 foot wide channel. The entire channel is lined with riprap to mitigate erosion during a large event. The rip rap extends to the existing drainage flowline located to the east of the detention pond.



6.0 Appendix A – AutoCAD Civil3D Hydraflow Analysis

Culvert Report

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Wednesday, Jul 26 2023

US Hwy 6 Box Culvert

Invert Elev Dn (ft) = 30.32
Pipe Length (ft) = 63.00
Slope (%) = 0.51
Invert Elev Up (ft) = 30.64
Rise (in) = 84.0
Shape = Box
Span (in) = 120.0
No. Barrels = 1
n-Value = 0.020
Culvert Type = Flared Wingwalls
Culvert Entrance = 0D wingwall flares
Coeff. K,M,c,Y,k = 0.061, 0.75, 0.0423, 0.82, 0.7

Embankment

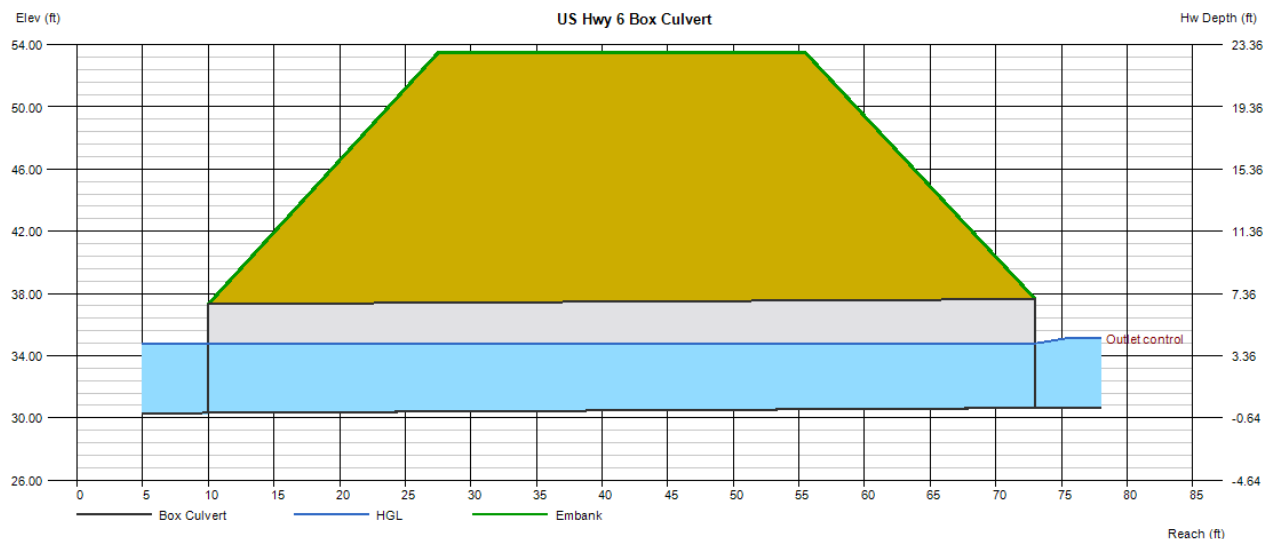
Top Elevation (ft) = 53.48
Top Width (ft) = 28.00
Crest Width (ft) = 0.00

Calculations

Qmin (cfs) = 149.00
Qmax (cfs) = 300.00
Tailwater Elev (ft) = (dc+D)/2

Highlighted

Qtotal (cfs) = 149.00
Qpipe (cfs) = 149.00
Qovertop (cfs) = 0.00
Veloc Dn (ft/s) = 3.35
Veloc Up (ft/s) = 3.59
HGL Dn (ft) = 34.77
HGL Up (ft) = 34.79
Hw Elev (ft) = 35.13
Hw/D (ft) = 0.64
Flow Regime = Outlet Control



Channel Report

<Name>

Trapezoidal

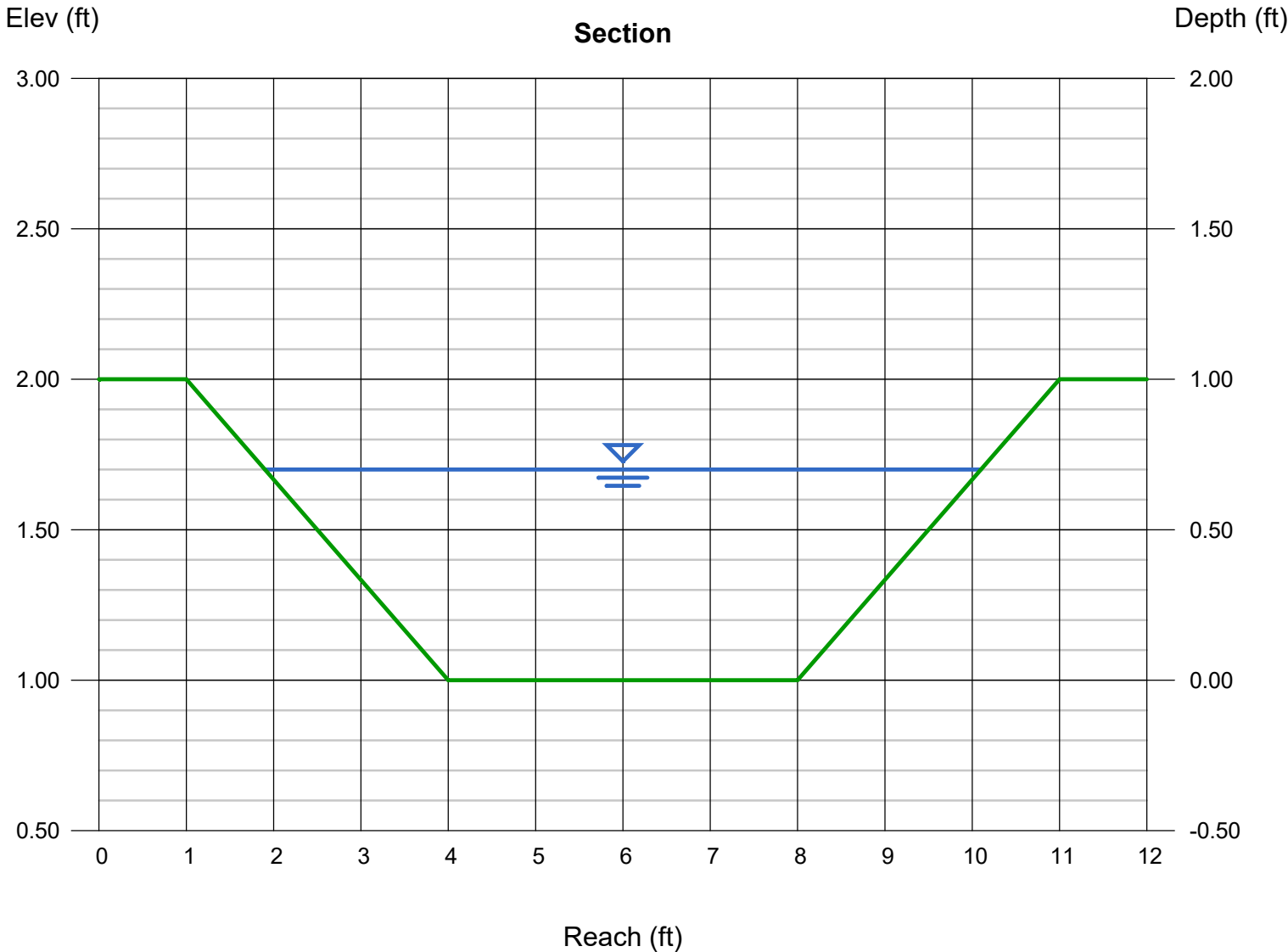
Bottom Width (ft) = 4.00
Side Slopes (z:1) = 3.00, 3.00
Total Depth (ft) = 1.00
Invert Elev (ft) = 1.00
Slope (%) = 1.00
N-Value = 0.023

Highlighted

Depth (ft) = 0.70
Q (cfs) = 17.29
Area (sqft) = 4.27
Velocity (ft/s) = 4.05
Wetted Perim (ft) = 8.43
Crit Depth, Yc (ft) = 0.70
Top Width (ft) = 8.20
EGL (ft) = 0.95

Calculations

Compute by: Known Q
Known Q (cfs) = 17.29



Weir Report

Silt Mega Storage Outfall Structure For 10-Year Storm

Rectangular Weir

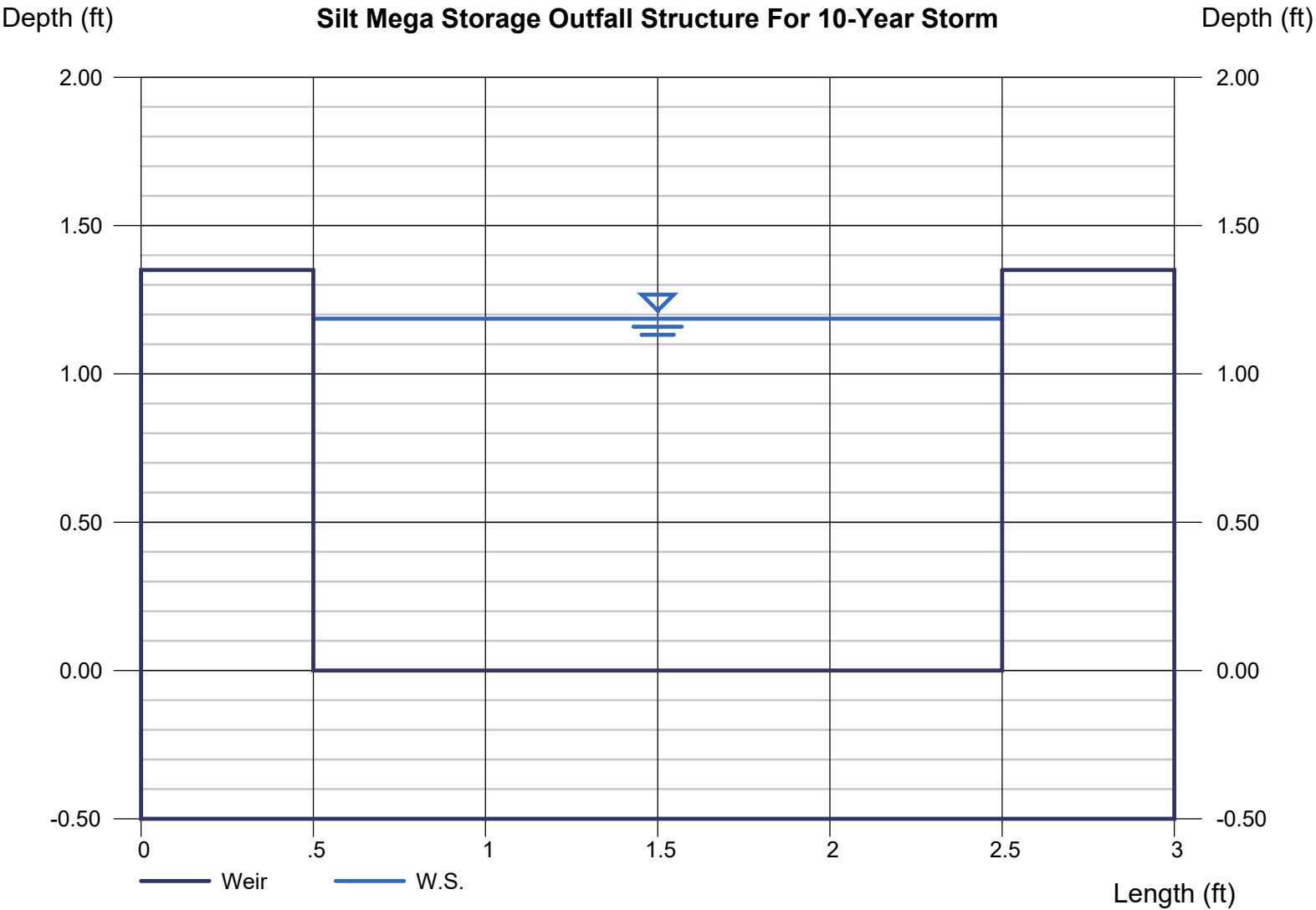
Crest = Sharp
Bottom Length (ft) = 2.00
Total Depth (ft) = 1.35

Highlighted

Depth (ft) = 1.19
Q (cfs) = 8.600
Area (sqft) = 2.37
Velocity (ft/s) = 3.63
Top Width (ft) = 2.00

Calculations

Weir Coeff. Cw = 3.33
Compute by: Known Q
Known Q (cfs) = 8.60





7.0 Appendix B – NOAA Atlas 14 Rainfall Data And Hydraflow Hydrographs IDF Curve Data



NOAA Atlas 14, Volume 8, Version 2
Location name: Silt, Colorado, USA*
Latitude: 39.547°, Longitude: -107.6581°
Elevation: 5447.25 ft**
* source: ESRI Maps
** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Michael Yekta, Geoffrey Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

[PF_tabular](#) | [PF_graphical](#) | [Maps & aerals](#)

PF tabular

| PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches) ¹ | | | | | | | | | | |
|--|-------------------------------------|------------------------|------------------------|------------------------|------------------------|------------------------|------------------------|------------------------|------------------------|-----------------------|
| Duration | Average recurrence interval (years) | | | | | | | | | |
| | 1 | 2 | 5 | 10 | 25 | 50 | 100 | 200 | 500 | 1000 |
| 5-min | 0.117 (0.092-0.148) | 0.149 (0.117-0.189) | 0.205 (0.160-0.261) | 0.255 (0.198-0.327) | 0.330 (0.249-0.447) | 0.391 (0.287-0.538) | 0.456 (0.324-0.647) | 0.526 (0.357-0.770) | 0.624 (0.407-0.945) | 0.703 (0.445-1.08) |
| 10-min | 0.171 (0.134-0.217) | 0.218 (0.171-0.277) | 0.300 (0.234-0.383) | 0.374 (0.290-0.479) | 0.483 (0.365-0.655) | 0.573 (0.421-0.788) | 0.668 (0.474-0.947) | 0.770 (0.523-1.13) | 0.914 (0.596-1.38) | 1.03 (0.652-1.58) |
| 15-min | 0.209 (0.164-0.265) | 0.266 (0.208-0.338) | 0.366 (0.286-0.467) | 0.456 (0.354-0.584) | 0.588 (0.445-0.798) | 0.698 (0.513-0.961) | 0.815 (0.578-1.16) | 0.940 (0.638-1.38) | 1.12 (0.727-1.69) | 1.26 (0.795-1.92) |
| 30-min | 0.267 (0.209-0.338) | 0.347 (0.272-0.441) | 0.484 (0.378-0.617) | 0.603 (0.468-0.773) | 0.775 (0.583-1.05) | 0.914 (0.670-1.25) | 1.06 (0.748-1.49) | 1.21 (0.820-1.77) | 1.42 (0.924-2.14) | 1.59 (1.00-2.43) |
| 60-min | 0.346 (0.271-0.439) | 0.432 (0.339-0.549) | 0.580 (0.453-0.740) | 0.709 (0.550-0.909) | 0.896 (0.674-1.21) | 1.05 (0.768-1.43) | 1.20 (0.852-1.70) | 1.37 (0.928-2.00) | 1.60 (1.04-2.41) | 1.78 (1.13-2.72) |
| 2-hr | 0.424 (0.336-0.534) | 0.517 (0.409-0.651) | 0.676 (0.533-0.854) | 0.815 (0.638-1.03) | 1.02 (0.772-1.35) | 1.18 (0.873-1.60) | 1.35 (0.964-1.88) | 1.53 (1.05-2.20) | 1.78 (1.17-2.64) | 1.97 (1.26-2.98) |
| 3-hr | 0.492 (0.392-0.616) | 0.579 (0.460-0.724) | 0.728 (0.576-0.915) | 0.861 (0.677-1.09) | 1.06 (0.808-1.40) | 1.22 (0.906-1.64) | 1.38 (0.996-1.92) | 1.56 (1.08-2.23) | 1.81 (1.20-2.68) | 2.01 (1.30-3.01) |
| 6-hr | 0.613 (0.491-0.759) | 0.706 (0.566-0.876) | 0.866 (0.692-1.08) | 1.00 (0.798-1.26) | 1.21 (0.928-1.57) | 1.37 (1.03-1.81) | 1.53 (1.11-2.09) | 1.71 (1.19-2.40) | 1.95 (1.31-2.83) | 2.15 (1.40-3.16) |
| 12-hr | 0.751 (0.608-0.922) | 0.867 (0.701-1.07) | 1.06 (0.856-1.31) | 1.23 (0.985-1.52) | 1.47 (1.14-1.89) | 1.66 (1.26-2.17) | 1.86 (1.36-2.49) | 2.06 (1.45-2.85) | 2.34 (1.58-3.34) | 2.56 (1.68-3.70) |
| 24-hr | 0.904 (0.738-1.10) | 1.04 (0.849-1.27) | 1.27 (1.03-1.56) | 1.47 (1.19-1.81) | 1.76 (1.38-2.24) | 1.99 (1.52-2.57) | 2.22 (1.65-2.95) | 2.47 (1.75-3.38) | 2.81 (1.92-3.95) | 3.07 (2.04-4.39) |
| 2-day | 1.06 (0.874-1.28) | 1.21 (0.998-1.46) | 1.47 (1.21-1.78) | 1.70 (1.39-2.07) | 2.03 (1.60-2.55) | 2.29 (1.77-2.93) | 2.56 (1.91-3.36) | 2.85 (2.04-3.84) | 3.24 (2.24-4.49) | 3.55 (2.39-4.99) |
| 3-day | 1.14 (0.947-1.37) | 1.32 (1.09-1.59) | 1.62 (1.34-1.95) | 1.87 (1.54-2.26) | 2.24 (1.78-2.79) | 2.52 (1.96-3.20) | 2.82 (2.12-3.66) | 3.12 (2.25-4.17) | 3.54 (2.46-4.86) | 3.87 (2.61-5.38) |
| 4-day | 1.22 (1.01-1.45) | 1.41 (1.17-1.68) | 1.73 (1.43-2.07) | 2.00 (1.65-2.41) | 2.39 (1.90-2.97) | 2.69 (2.09-3.39) | 3.00 (2.26-3.86) | 3.31 (2.40-4.39) | 3.74 (2.61-5.09) | 4.07 (2.76-5.63) |
| 7-day | 1.43 (1.20-1.69) | 1.63 (1.36-1.93) | 1.97 (1.64-2.34) | 2.25 (1.86-2.68) | 2.65 (2.12-3.25) | 2.96 (2.32-3.69) | 3.27 (2.49-4.18) | 3.60 (2.63-4.71) | 4.04 (2.84-5.43) | 4.38 (3.00-5.97) |
| 10-day | 1.62 (1.36-1.91) | 1.82 (1.53-2.15) | 2.16 (1.81-2.55) | 2.44 (2.04-2.90) | 2.85 (2.30-3.48) | 3.16 (2.50-3.91) | 3.48 (2.66-4.41) | 3.81 (2.80-4.95) | 4.26 (3.01-5.67) | 4.60 (3.17-6.22) |
| 20-day | 2.13 (1.81-2.49) | 2.36 (2.00-2.76) | 2.75 (2.32-3.22) | 3.07 (2.58-3.61) | 3.51 (2.86-4.23) | 3.85 (3.07-4.70) | 4.20 (3.24-5.24) | 4.55 (3.37-5.82) | 5.02 (3.59-6.57) | 5.38 (3.75-7.15) |
| 30-day | 2.54 (2.17-2.95) | 2.82 (2.40-3.28) | 3.27 (2.78-3.81) | 3.64 (3.08-4.26) | 4.15 (3.39-4.96) | 4.53 (3.63-5.48) | 4.91 (3.81-6.07) | 5.29 (3.94-6.69) | 5.79 (4.16-7.50) | 6.16 (4.32-8.10) |
| 45-day | 3.06 (2.62-3.53) | 3.41 (2.92-3.94) | 3.98 (3.40-4.60) | 4.43 (3.76-5.14) | 5.03 (4.13-5.95) | 5.48 (4.41-6.57) | 5.91 (4.60-7.23) | 6.34 (4.74-7.92) | 6.87 (4.96-8.80) | 7.26 (5.13-9.46) |
| 60-day | 3.50 (3.01-4.02) | 3.92 (3.38-4.51) | 4.60 (3.94-5.30) | 5.13 (4.38-5.93) | 5.83 (4.80-6.85) | 6.34 (5.12-7.55) | 6.83 (5.33-8.29) | 7.29 (5.48-9.05) | 7.87 (5.71-10.00) | 8.28 (5.87-10.7) |

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS).

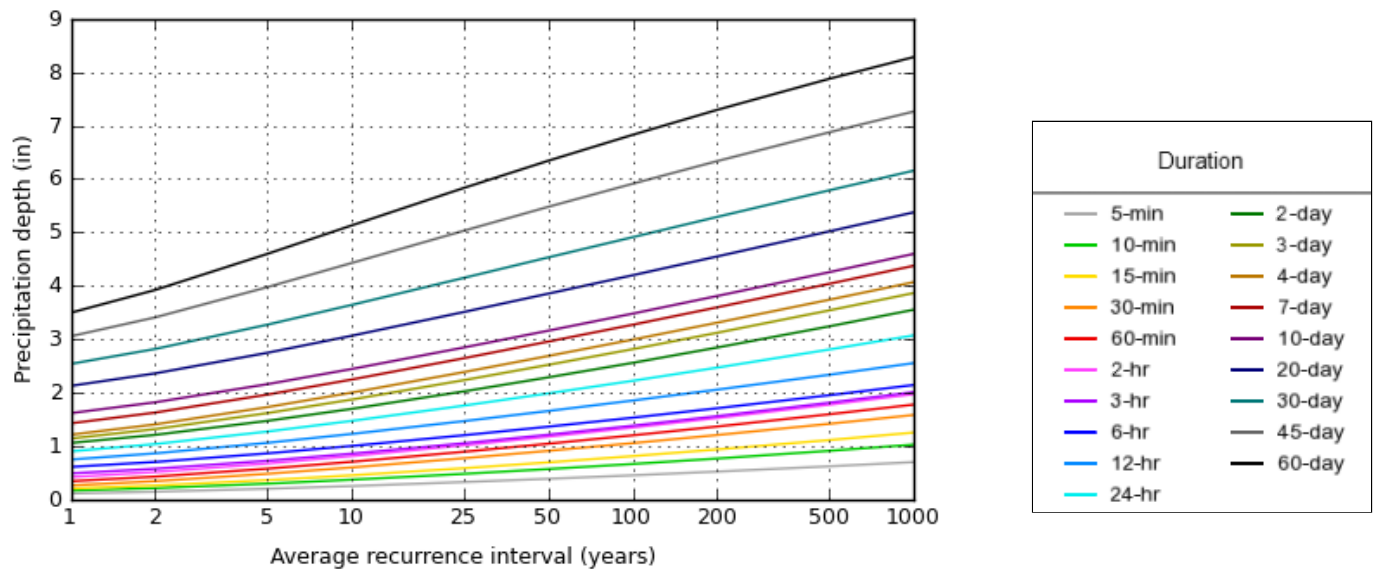
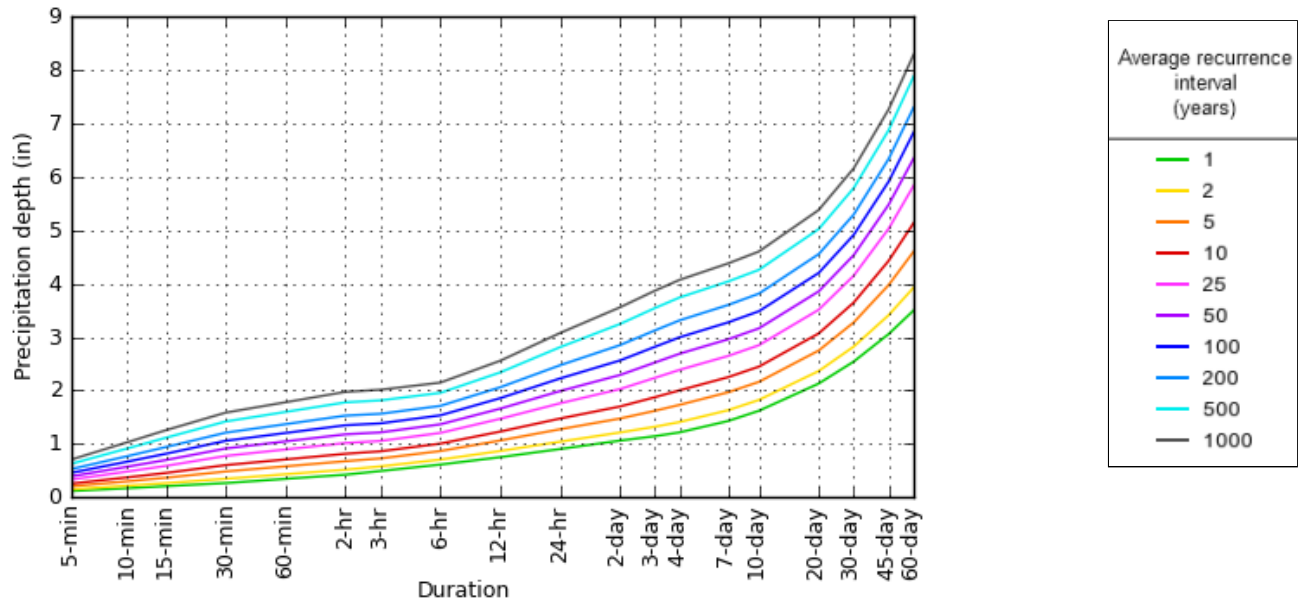
Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values.

Please refer to NOAA Atlas 14 document for more information.

[Back to Top](#)

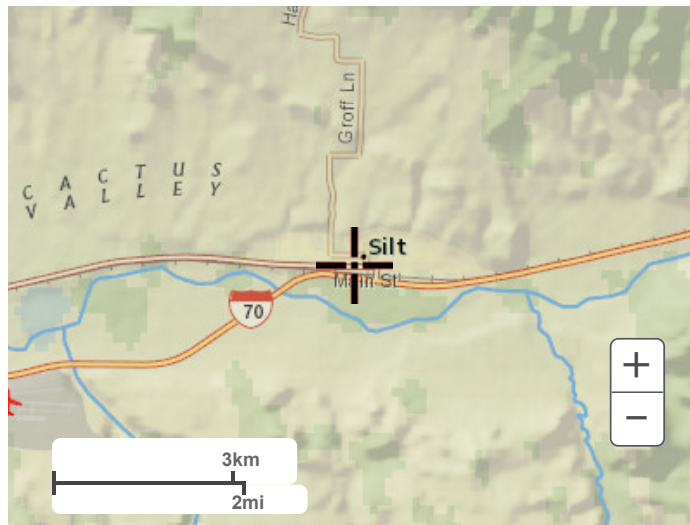
PF graphical

PDS-based depth-duration-frequency (DDF) curves
Latitude: 39.5470°, Longitude: -107.6581°

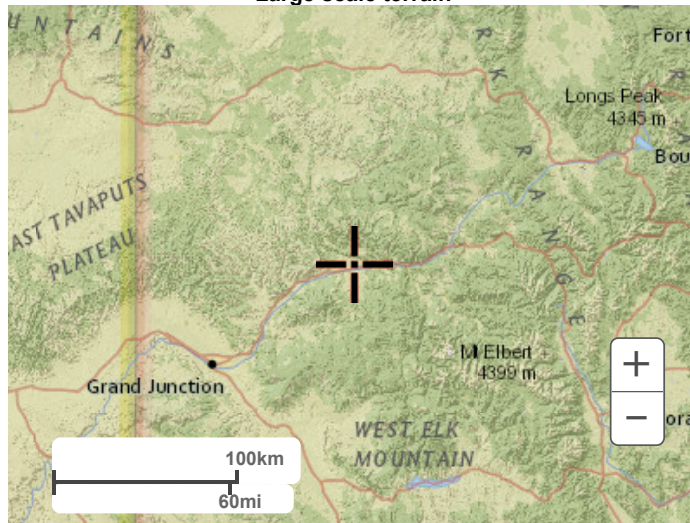


Maps & aerials

Small scale terrain



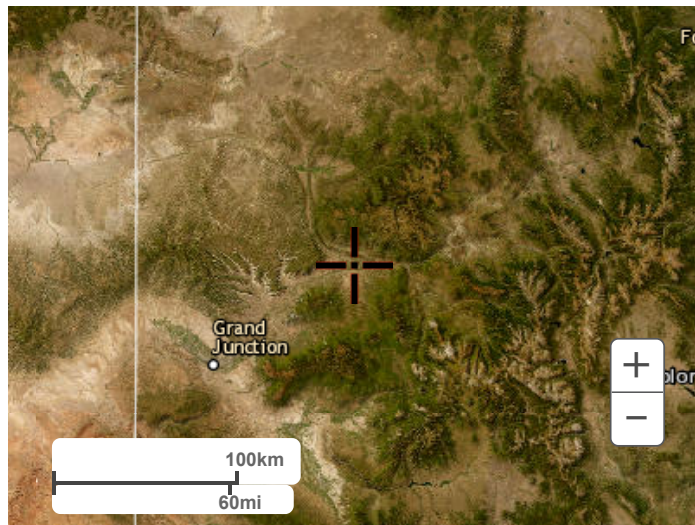
Large scale terrain



Large scale map



Large scale aerial



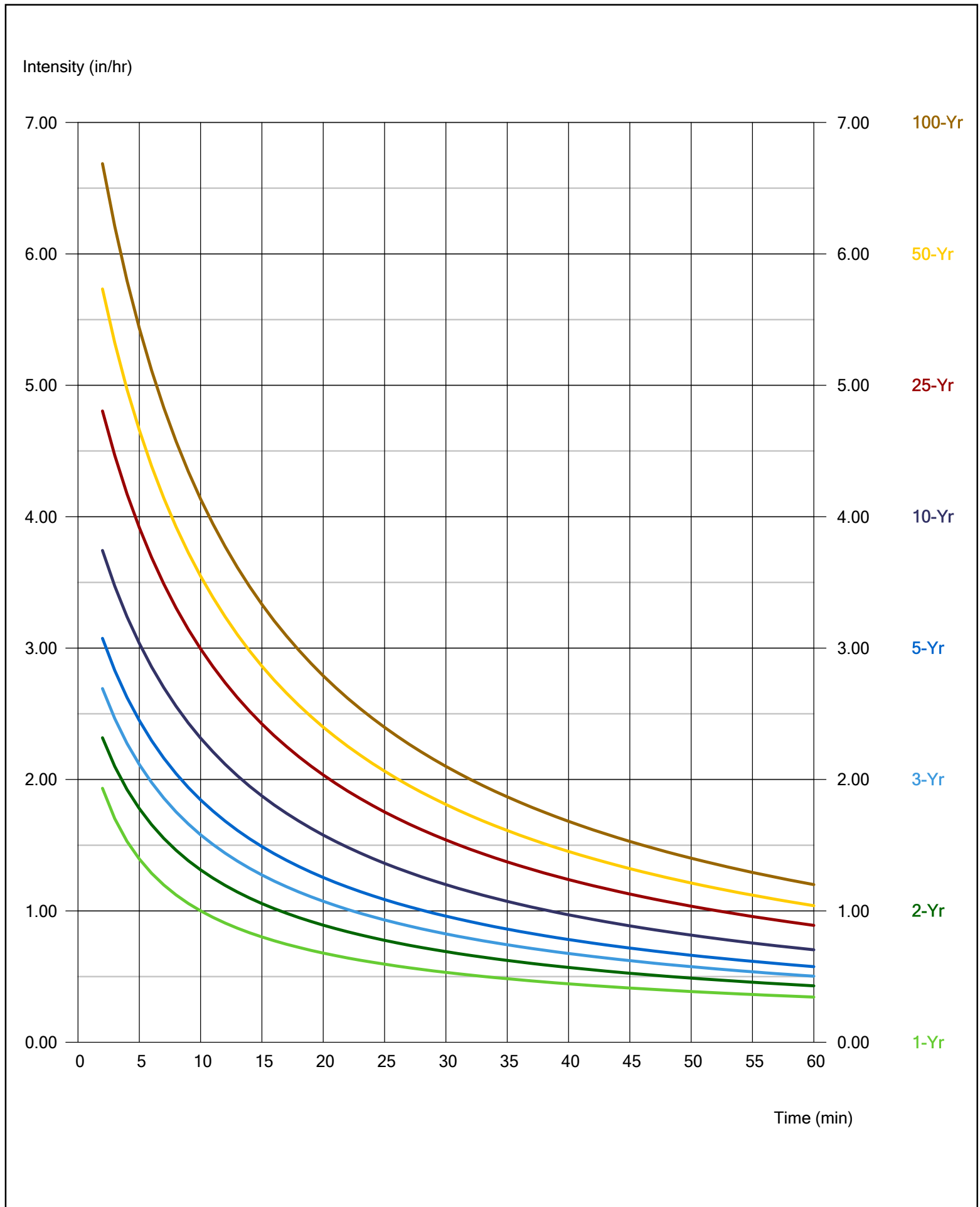
[Back to Top](#)

[US Department of Commerce](#)
[National Oceanic and Atmospheric Administration](#)
[National Weather Service](#)
[National Water Center](#)
1325 East West Highway
Silver Spring, MD 20910
Questions?: HDSC.Questions@noaa.gov

[Disclaimer](#)

Hydraflow IDF Curves

IDF file: Silt.IDF



Hydraflow Rainfall Report

| Return Period (Yrs) | Intensity-Duration-Frequency Equation Coefficients (FHA) | | | |
|------------------------|--|---------|--------|-------|
| | B | D | E | (N/A) |
| 1 | 5.5393 | 2.8000 | 0.6713 | ----- |
| 2 | 10.6858 | 5.3000 | 0.7688 | ----- |
| 3 | 16.5805 | 6.9000 | 0.8316 | ----- |
| 5 | 23.8006 | 8.2000 | 0.8813 | ----- |
| 10 | 41.4742 | 10.3000 | 0.9584 | ----- |
| 25 | 64.5990 | 11.3000 | 1.0042 | ----- |
| 50 | 78.2334 | 11.2000 | 1.0129 | ----- |
| 100 | 96.0577 | 11.4000 | 1.0268 | ----- |

File name: Silt.IDF

Intensity = $B / (T_c + D)^E$

| Return Period (Yrs) | Intensity Values (in/hr) | | | | | | | | | | | |
|------------------------|--------------------------|------|------|------|------|------|------|------|------|------|------|------|
| | 5 min | 10 | 15 | 20 | 25 | 30 | 35 | 40 | 45 | 50 | 55 | 60 |
| 1 | 1.40 | 1.00 | 0.80 | 0.68 | 0.59 | 0.53 | 0.48 | 0.44 | 0.41 | 0.39 | 0.36 | 0.34 |
| 2 | 1.78 | 1.31 | 1.06 | 0.89 | 0.78 | 0.69 | 0.62 | 0.57 | 0.53 | 0.49 | 0.46 | 0.43 |
| 3 | 2.11 | 1.58 | 1.27 | 1.07 | 0.93 | 0.82 | 0.74 | 0.68 | 0.62 | 0.58 | 0.54 | 0.50 |
| 5 | 2.45 | 1.85 | 1.49 | 1.25 | 1.09 | 0.96 | 0.86 | 0.78 | 0.72 | 0.66 | 0.62 | 0.58 |
| 10 | 3.04 | 2.32 | 1.87 | 1.58 | 1.36 | 1.20 | 1.07 | 0.97 | 0.89 | 0.82 | 0.76 | 0.70 |
| 25 | 3.92 | 2.99 | 2.42 | 2.03 | 1.75 | 1.54 | 1.37 | 1.24 | 1.13 | 1.04 | 0.96 | 0.89 |
| 50 | 4.66 | 3.55 | 2.86 | 2.40 | 2.06 | 1.81 | 1.61 | 1.45 | 1.32 | 1.21 | 1.12 | 1.04 |
| 100 | 5.43 | 4.14 | 3.33 | 2.79 | 2.40 | 2.10 | 1.87 | 1.68 | 1.53 | 1.40 | 1.29 | 1.20 |

Tc = time in minutes. Values may exceed 60.

Precip. file name: Sample.pcp

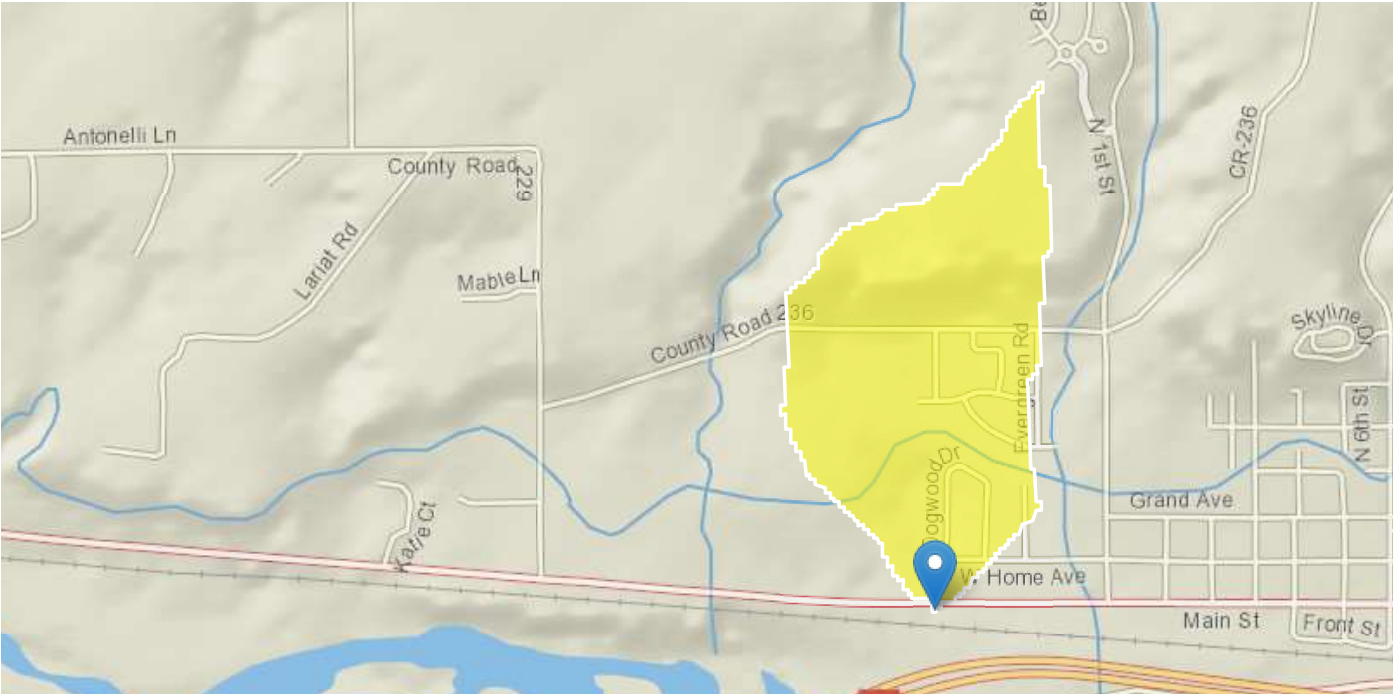
| Storm Distribution | Rainfall Precipitation Table (in) | | | | | | | |
|--------------------|-----------------------------------|------|------|------|-------|-------|-------|--------|
| | 1-yr | 2-yr | 3-yr | 5-yr | 10-yr | 25-yr | 50-yr | 100-yr |
| SCS 24-hour | 0.00 | 2.20 | 0.00 | 3.30 | 4.25 | 5.77 | 6.80 | 7.95 |
| SCS 6-Hr | 0.00 | 1.80 | 0.00 | 0.00 | 2.60 | 0.00 | 0.00 | 4.00 |
| Huff-1st | 0.00 | 1.55 | 0.00 | 2.75 | 4.00 | 5.38 | 6.50 | 8.00 |
| Huff-2nd | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| Huff-3rd | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| Huff-4th | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| Huff-Indy | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 | 0.00 |
| Custom | 0.00 | 1.75 | 0.00 | 2.80 | 3.90 | 5.25 | 6.00 | 7.10 |



8.0 Appendix C – USGS StreamStats Offsite Basin Report

StreamStats Report

Region ID: CO
Workspace ID: C020230426205558292000
Clicked Point (Latitude, Longitude): 39.54688, -107.66709
Time: 2023-04-26 14:56:20 -0600



Collapse All

Basin Characteristics

| Parameter Code | Parameter Description | Value | Unit |
|----------------|---|-------|--------------|
| DRNAREA | Area that drains to a point on a stream | 0.15 | square miles |
| EL7500 | Percent of area above 7500 ft | 0 | percent |
| PRECIP | Mean Annual Precipitation | 13.25 | inches |

Peak-Flow Statistics

Peak-Flow Statistics Parameters [Northwest Region Peak Flow]

| Parameter Code | Parameter Name | Value | Units | Min Limit | Max Limit |
|----------------|---------------------------|-------|--------------|-----------|-----------|
| DRNAREA | Drainage Area | 0.15 | square miles | 1 | 5250 |
| EL7500 | Percent above 7500 ft | 0 | percent | 0 | 99 |
| PRECIP | Mean Annual Precipitation | 13.25 | inches | 8 | 49 |

Peak-Flow Statistics Disclaimers [Northwest Region Peak Flow]

One or more of the parameters is outside the suggested range. Estimates were extrapolated with unknown errors.

Peak-Flow Statistics Flow Report [Northwest Region Peak Flow]

| Statistic | Value | Unit |
|-----------------------|-------|--------------------|
| 50-percent AEP flood | 4.41 | ft ³ /s |
| 20-percent AEP flood | 13.4 | ft ³ /s |
| 10-percent AEP flood | 28.1 | ft ³ /s |
| 4-percent AEP flood | 59.5 | ft ³ /s |
| 2-percent AEP flood | 98.4 | ft ³ /s |
| 1-percent AEP flood | 149 | ft ³ /s |
| 0.5-percent AEP flood | 223 | ft ³ /s |
| 0.2-percent AEP flood | 357 | ft ³ /s |

Peak-Flow Statistics Citations

Capesius, J.P., and Stephens, V. C.,2009, Regional Regression Equations for Estimation of Natural Streamflow Statistics in Colorado: U. S. Geological Survey Scientific Investigations Report 2009-5136, 32 p. (<http://pubs.usgs.gov/sir/2009/5136/http://pubs.usgs.gov/sir/2009/5136/>)

USGS Data Disclaimer: Unless otherwise stated, all data, metadata and related materials are considered to satisfy the quality standards relative to the purpose for which the data were collected. Although these data and associated metadata have been reviewed for accuracy and completeness and approved for release by the U.S. Geological Survey (USGS), no warranty expressed or implied is made regarding the display or utility of the data for other purposes, nor on all computer systems, nor shall the act of distribution constitute any such warranty.

USGS Software Disclaimer: This software has been approved for release by the U.S. Geological Survey (USGS). Although the software has been subjected to rigorous review, the USGS reserves the right to update the software as needed pursuant to further analysis and review. No warranty, expressed or implied, is made by the USGS or the U.S. Government as to the functionality of the software and related material nor shall the fact of release constitute any such warranty. Furthermore, the software is released on condition that neither the USGS nor the U.S. Government shall be held liable for any damages resulting from its authorized or unauthorized use.

USGS Product Names Disclaimer: Any use of trade, firm, or product names is for descriptive purposes only and does not imply endorsement by the U.S. Government.

Application Version: 4.14.0

StreamStats Services Version: 1.2.22

NSS Services Version: 2.2.1



9.0 Appendix D – AutoCAD Civil3D Detention Pond Volume Comparison Analysis

Cut/Fill Report

Generated: 2023-05-07 11:36:01

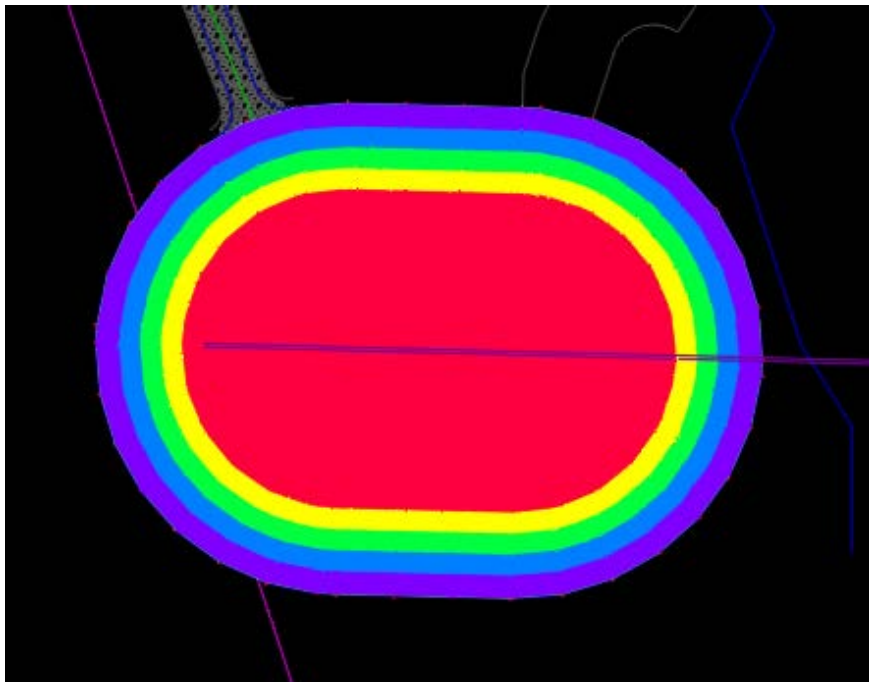
By user: Crystal River Civil

Drawing: C:\Users\Crystal River Civil\OneDrive - Crystal River
Civil\01.Projects\22.Projects\71.SiltMegaStorage\C.Drawings\C:\Users\Crystal River
Civil\OneDrive - Crystal River
Civil\01.Projects\22.Projects\71.SiltMegaStorage\C.Drawings\3D.SiltMegaStorage.dwg

| Volume Summary | | | | | | | |
|----------------|------|------------|-------------|-------------------|---------------|----------------|---------------|
| Name | Type | Cut Factor | Fill Factor | 2d Area (Sq. Ft.) | Cut (Cu. Yd.) | Fill (Cu. Yd.) | Net (Cu. Yd.) |
| Pond Volume | full | 1.000 | 1.000 | 5568.90 | 702.11 | 0.00 | 702.11<Cut> |

| Totals | | | | |
|--------|-------------------|---------------|----------------|---------------|
| | 2d Area (Sq. Ft.) | Cut (Cu. Yd.) | Fill (Cu. Yd.) | Net (Cu. Yd.) |
| Total | 5568.90 | 702.11 | 0.00 | 702.11<Cut> |

* Value adjusted by cut or fill factor other than 1.0



| Elevations Table | | | | |
|------------------|-------------------|-------------------|---------|--------|
| Number | Minimum Elevation | Maximum Elevation | Area | Color |
| 1 | -5.00 | -4.00 | 2797.05 | Red |
| 2 | -4.00 | -3.00 | 611.02 | Yellow |
| 3 | -3.00 | -2.00 | 665.65 | Green |
| 4 | -2.00 | -1.00 | 720.28 | Blue |
| 5 | -1.00 | 0.00 | 774.91 | Purple |

Cut/Fill Report

Generated:

2024-07-17 11:33:36

By user:

Crystal River Civil

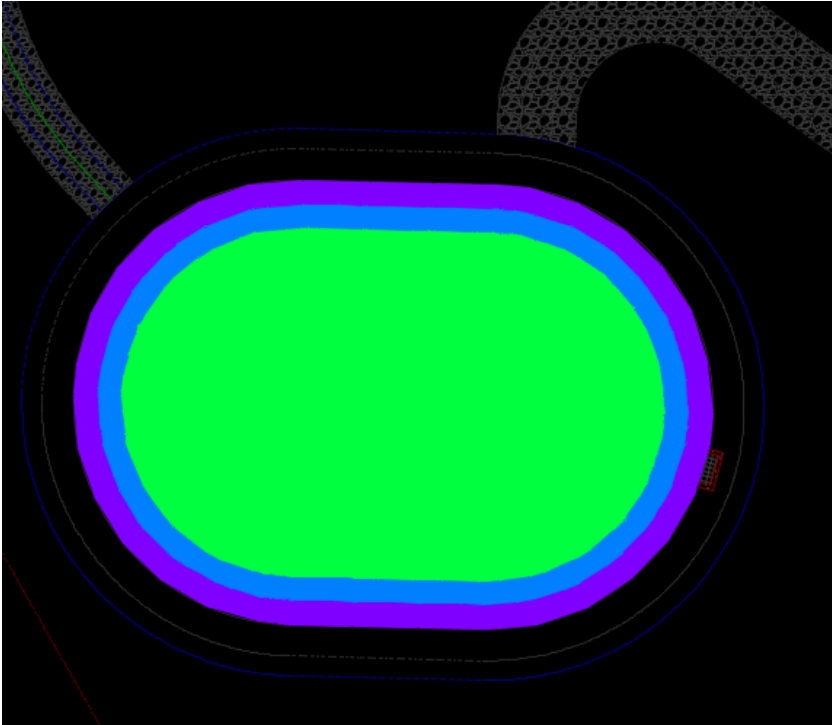
Drawing:

C:\Users\Crystal River Civil\OneDrive - Crystal River
Civil\01.Projects\22.Projects\71.SiltMegaStorage\C.Drawings\C:\Users\Crystal River
Civil\OneDrive - Crystal River
Civil\01.Projects\22.Projects\71.SiltMegaStorage\C.Drawings\Pond.SiltMegaStorage.dwg

| Volume Summary | | | | | | | |
|-----------------------|------|------------|-------------|-------------------|---------------|----------------|---------------|
| Name | Type | Cut Factor | Fill Factor | 2d Area (Sq. Ft.) | Cut (Cu. Yd.) | Fill (Cu. Yd.) | Net (Cu. Yd.) |
| Pond Volume - 10 Year | full | 1.000 | 1.000 | 3938.80 | 318.10 | 0.00 | 318.10<Cut> |

| Totals | | | | |
|--------|-------------------|---------------|----------------|---------------|
| | 2d Area (Sq. Ft.) | Cut (Cu. Yd.) | Fill (Cu. Yd.) | Net (Cu. Yd.) |
| Total | 3938.80 | 318.10 | 0.00 | 318.10<Cut> |

* Value adjusted by cut or fill factor other than 1.0



| Elevations Table | | | | |
|------------------|-------------------|-------------------|---------|--------|
| Number | Minimum Elevation | Maximum Elevation | Area | Color |
| 1 | -5.00 | -4.00 | 0.00 | Red |
| 2 | -4.00 | -3.00 | 0.00 | Yellow |
| 3 | -3.00 | -2.00 | 2688.26 | Green |
| 4 | -2.00 | -1.00 | 599.41 | Blue |
| 5 | -1.00 | 0.00 | 651.13 | Purple |

Cut/Fill Report

Generated:

2024-07-17 11:44:53

By user:

Crystal River Civil

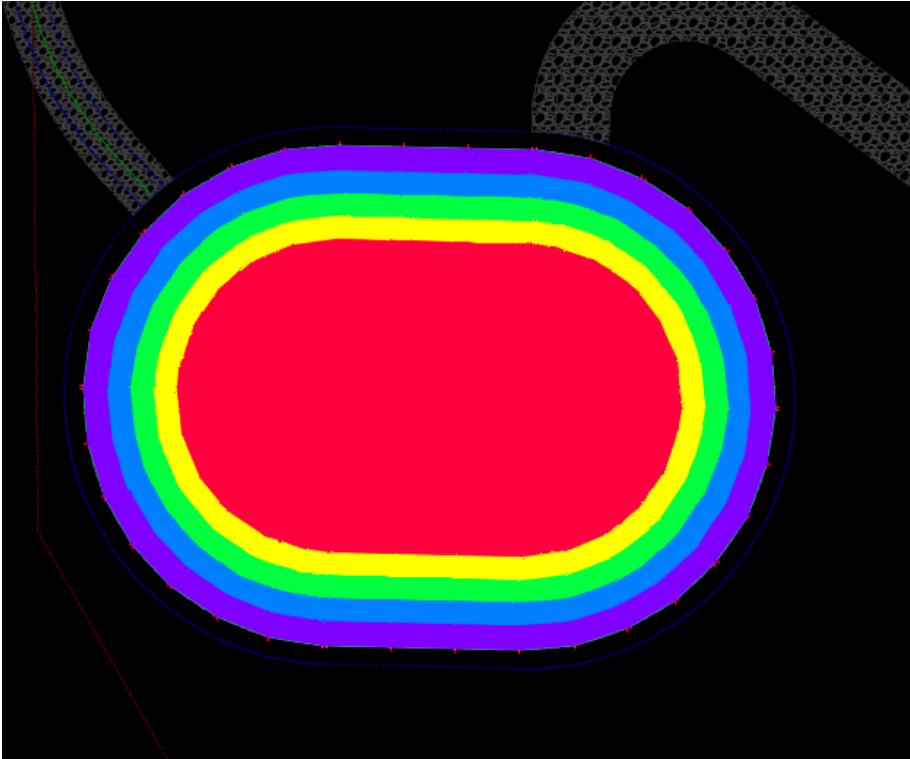
Drawing:

C:\Users\Crystal River Civil\OneDrive - Crystal River
Civil\01.Projects\22.Projects\71.SiltMegaStorage\C.Drawings\C:\Users\Crystal River
Civil\OneDrive - Crystal River
Civil\01.Projects\22.Projects\71.SiltMegaStorage\C.Drawings\Pond.SiltMegaStorage.dwg

| Volume Summary | | | | | | | |
|------------------------|------|------------|-------------|-------------------|---------------|----------------|---------------|
| Name | Type | Cut Factor | Fill Factor | 2d Area (Sq. Ft.) | Cut (Cu. Yd.) | Fill (Cu. Yd.) | Net (Cu. Yd.) |
| Pond Volume - 100 Year | full | 1.000 | 1.000 | 4907.09 | 538.20 | 0.00 | 538.20<Cut> |

| Totals | | | | |
|--------|-------------------|---------------|----------------|---------------|
| | 2d Area (Sq. Ft.) | Cut (Cu. Yd.) | Fill (Cu. Yd.) | Net (Cu. Yd.) |
| Total | 4907.09 | 538.20 | 0.00 | 538.20<Cut> |

* Value adjusted by cut or fill factor other than 1.0



| Elevations Table | | | | |
|------------------|-------------------|-------------------|---------|--------|
| Number | Minimum Elevation | Maximum Elevation | Area | Color |
| 1 | -5.00 | -4.00 | 2323.86 | Red |
| 2 | -4.00 | -3.00 | 564.62 | Yellow |
| 3 | -3.00 | -2.00 | 618.75 | Green |
| 4 | -2.00 | -1.00 | 672.87 | Blue |
| 5 | -1.00 | 0.00 | 726.99 | Purple |



10.0 Appendix E – NRCS Web Soil Survey Data

Engineering Properties

This table gives the engineering classifications and the range of engineering properties for the layers of each soil in the survey area.

Hydrologic soil group is a group of soils having similar runoff potential under similar storm and cover conditions. The criteria for determining Hydrologic soil group is found in the National Engineering Handbook, Chapter 7 issued May 2007(<http://directives.sc.egov.usda.gov/OpenNonWebContent.aspx?content=17757.wba>). Listing HSGs by soil map unit component and not by soil series is a new concept for the engineers. Past engineering references contained lists of HSGs by soil series. Soil series are continually being defined and redefined, and the list of soil series names changes so frequently as to make the task of maintaining a single national list virtually impossible. Therefore, the criteria is now used to calculate the HSG using the component soil properties and no such national series lists will be maintained. All such references are obsolete and their use should be discontinued. Soil properties that influence runoff potential are those that influence the minimum rate of infiltration for a bare soil after prolonged wetting and when not frozen. These properties are depth to a seasonal high water table, saturated hydraulic conductivity after prolonged wetting, and depth to a layer with a very slow water transmission rate. Changes in soil properties caused by land management or climate changes also cause the hydrologic soil group to change. The influence of ground cover is treated independently. There are four hydrologic soil groups, A, B, C, and D, and three dual groups, A/D, B/D, and C/D. In the dual groups, the first letter is for drained areas and the second letter is for undrained areas.

The four hydrologic soil groups are described in the following paragraphs:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

Depth to the upper and lower boundaries of each layer is indicated.

Texture is given in the standard terms used by the U.S. Department of Agriculture. These terms are defined according to percentages of sand, silt, and clay in the fraction of the soil that is less than 2 millimeters in diameter. "Loam," for example, is soil that is 7 to 27 percent clay, 28 to 50 percent silt, and less than 52 percent sand. If the content of particles coarser than sand is 15 percent or more, an appropriate modifier is added, for example, "gravelly."

Classification of the soils is determined according to the Unified soil classification system (ASTM, 2005) and the system adopted by the American Association of State Highway and Transportation Officials (AASHTO, 2004).

The Unified system classifies soils according to properties that affect their use as construction material. Soils are classified according to particle-size distribution of the fraction less than 3 inches in diameter and according to plasticity index, liquid limit, and organic matter content. Sandy and gravelly soils are identified as GW, GP, GM, GC, SW, SP, SM, and SC; silty and clayey soils as ML, CL, OL, MH, CH, and OH; and highly organic soils as PT. Soils exhibiting engineering properties of two groups can have a dual classification, for example, CL-ML.

The AASHTO system classifies soils according to those properties that affect roadway construction and maintenance. In this system, the fraction of a mineral soil that is less than 3 inches in diameter is classified in one of seven groups from A-1 through A-7 on the basis of particle-size distribution, liquid limit, and plasticity index. Soils in group A-1 are coarse grained and low in content of fines (silt and clay). At the other extreme, soils in group A-7 are fine grained. Highly organic soils are classified in group A-8 on the basis of visual inspection.

If laboratory data are available, the A-1, A-2, and A-7 groups are further classified as A-1-a, A-1-b, A-2-4, A-2-5, A-2-6, A-2-7, A-7-5, or A-7-6. As an additional refinement, the suitability of a soil as subgrade material can be indicated by a group index number. Group index numbers range from 0 for the best subgrade material to 20 or higher for the poorest.

Percentage of rock fragments larger than 10 inches in diameter and 3 to 10 inches in diameter are indicated as a percentage of the total soil on a dry-weight basis. The percentages are estimates determined mainly by converting volume percentage in the field to weight percentage. Three values are provided to identify the expected Low (L), Representative Value (R), and High (H).

Percentage (of soil particles) passing designated sieves is the percentage of the soil fraction less than 3 inches in diameter based on an oven-dry weight. The sieves, numbers 4, 10, 40, and 200 (USA Standard Series), have openings of 4.76, 2.00, 0.420, and 0.074 millimeters, respectively. Estimates are based on laboratory tests of soils sampled in the survey area and in nearby areas and on estimates made in the field. Three values are provided to identify the expected Low (L), Representative Value (R), and High (H).

Liquid limit and plasticity index (Atterberg limits) indicate the plasticity characteristics of a soil. The estimates are based on test data from the survey area or from nearby areas and on field examination. Three values are provided to identify the expected Low (L), Representative Value (R), and High (H).

References:

American Association of State Highway and Transportation Officials (AASHTO). 2004. Standard specifications for transportation materials and methods of sampling and testing. 24th edition.

American Society for Testing and Materials (ASTM). 2005. Standard classification of soils for engineering purposes. ASTM Standard D2487-00.

Report—Engineering Properties

Absence of an entry indicates that the data were not estimated. The asterisk "*" denotes the representative texture; other possible textures follow the dash. The criteria for determining the hydrologic soil group for individual soil components is found in the National Engineering Handbook, Chapter 7 issued May 2007(<http://directives.sc.egov.usda.gov/OpenNonWebContent.aspx?content=17757.wba>). Three values are provided to identify the expected Low (L), Representative Value (R), and High (H).

| Engineering Properties—Rifle Area, Colorado, Parts of Garfield and Mesa Counties | | | | | | | | | | | | | | |
|--|------------------|------------------|-----------|-----------------|----------------|--------|---------------|--------------|----------------------------------|--------------|--------------|--------------|--------------|------------------|
| Map unit symbol and soil name | Pct. of map unit | Hydrologic group | Depth | USDA texture | Classification | | Pct Fragments | | Percentage passing sieve number— | | | | Liquid limit | Plasticity index |
| | | | | | Unified | AASHTO | >10 inches | 3-10 inches | 4 | 10 | 40 | 200 | | |
| | | | <i>In</i> | | | | <i>L-R-H</i> | <i>L-R-H</i> | <i>L-R-H</i> | <i>L-R-H</i> | <i>L-R-H</i> | <i>L-R-H</i> | <i>L-R-H</i> | <i>L-R-H</i> |
| 3—Arvada loam, 1 to 6 percent slopes | | | | | | | | | | | | | | |
| Arvada | 80 | C | 0-3 | Loam | CL-ML, CL | A-4 | 0- 0- 0 | 0- 0- 0 | 100-100-100 | 100-100-100 | 85-90-95 | 60-68-75 | 25-28-30 | 5-8 -10 |
| | | | 3-17 | Silty clay loam | CL | A-7 | 0- 0- 0 | 0- 0- 0 | 100-100-100 | 100-100-100 | 95-98-100 | 85-90-95 | 40-43-45 | 20-23-25 |
| | | | 17-60 | Silty clay loam | CL | A-7 | 0- 0- 0 | 0- 0- 0 | 100-100-100 | 100-100-100 | 95-98-100 | 85-90-95 | 40-43-45 | 20-23-25 |

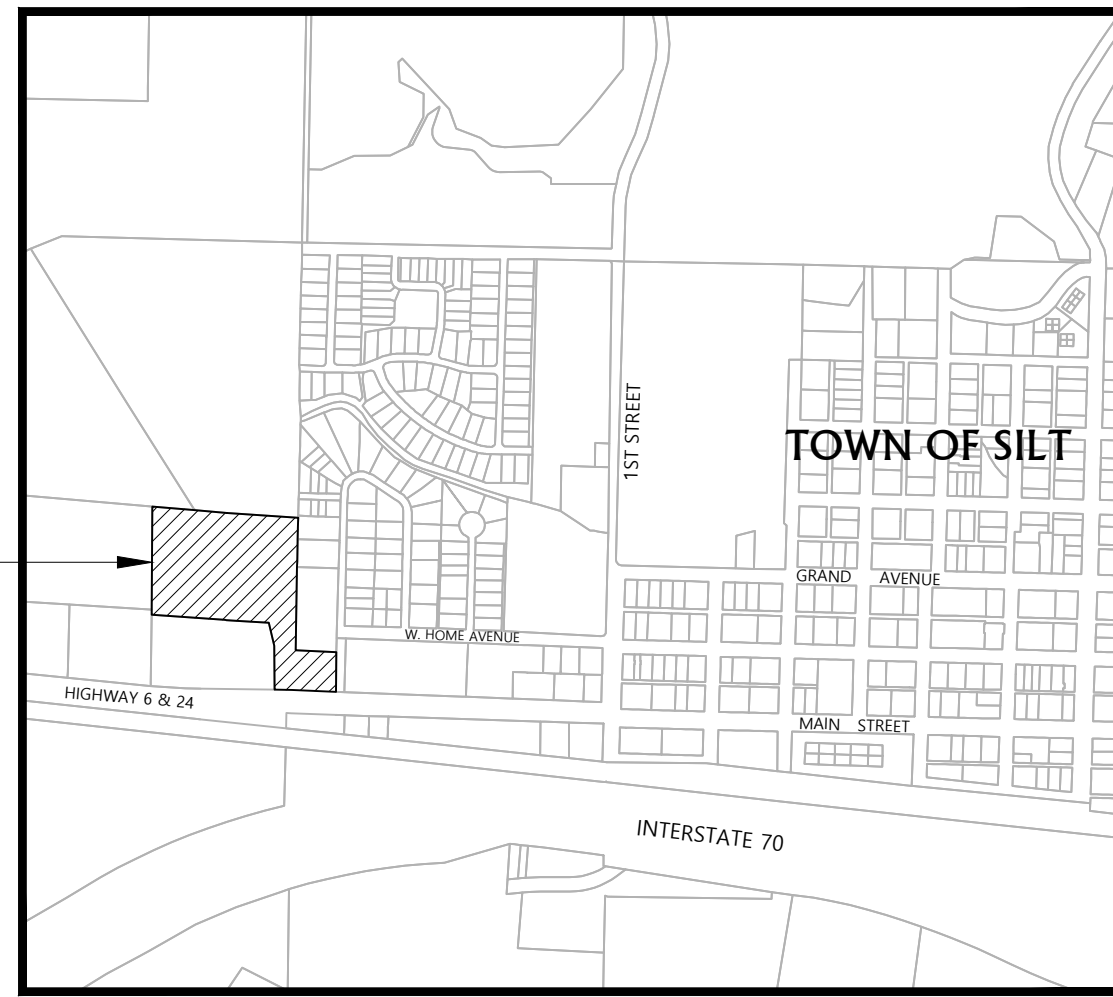
Data Source Information

Soil Survey Area: Rifle Area, Colorado, Parts of Garfield and Mesa Counties

Survey Area Data: Version 15, Sep 6, 2022

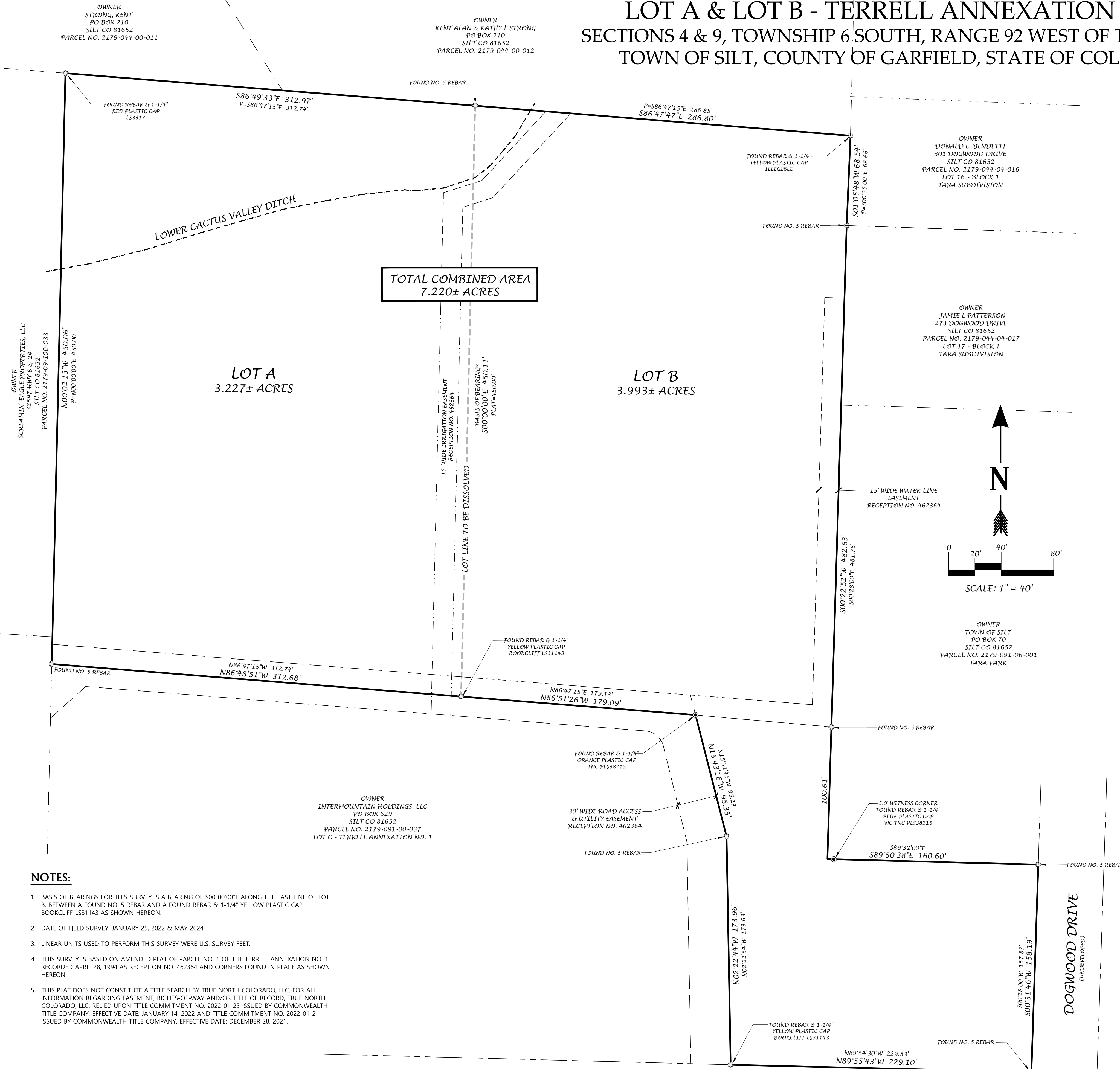
LOT LINE DISSOLUTION PLAT

LOT A & LOT B - TERRELL ANNEXATION NO. 1
SECTIONS 4 & 9, TOWNSHIP 6 SOUTH, RANGE 92 WEST OF THE 6TH PM
TOWN OF SILT, COUNTY OF GARFIELD, STATE OF COLORADO



VICINITY MAP
SCALE: 1" = 500'

SITE



LOT LINE ADJUSTMENT STAFF CERTIFICATE

THIS PLAT APPROVED BY THE TOWN ADMINISTRATOR OR HIS DESIGNEE OF THE TOWN OF SILT, COLORADO THIS _____ DAY OF _____, A.D. 2024. THE FILING WITH THE CLERK AND RECORDER OF GARFIELD COUNTY, COLORADO, OF THIS PLAT IN NO WAY IMPLIES THAT THE INFORMATION SHOWN HEREON IS TRUE AND ACCURATE BUT DOES INDICATE THAT THIS PLAT IS CONSIDERED AN ADMINISTRATIVE BOUNDARY ADJUSTMENT OR LOT LINE ADJUSTMENT PLAT SUBJECT TO REGULATION UNDER TOWN OF SILT 16.04.590 AND NOT SUBJECT TO REGULATION UNDER TOWN OF SILT SUBDIVISION REGULATIONS PER TITLE 16 OF THE SILT MUNICIPAL CODE AT THE TIME OF ITS FILING. THE TOWN ACCEPTS THE PUBLIC DEDICATIONS SHOWN HEREON, PROVIDED THAT SUCH ACCEPTANCE AND THE APPROVAL OF THIS PLAT IN NO WAY OBLIGATES THE TOWN OF SILT FOR FINANCING, CONSTRUCTION OR MAINTENANCE OF IMPROVEMENTS ON LANDS, STREETS, OR EASEMENTS DEDICATED TO THE PUBLIC EXCEPT AS OTHERWISE SPECIFICALLY AGREED TO BY THE TOWN.

TOWN OF SILT

BY: _____
TOWN ADMINISTRATOR OR HIS DESIGNEE

ATTEST: _____
TOWN CLERK

TITLE CERTIFICATE

I, PATRICK P. BURWELL, AN AUTHORIZED AGENT OF COMMONWEALTH TITLE COMPANY OF GARFIELD COUNTY, INC. DO HEREBY CERTIFY THAT I HAVE EXAMINED THE TITLE TO ALL LANDS SHOWN UPON THIS PLAT AND THAT TITLE TO SUCH LANDS IS VESTED IN 510 W. MAIN STORAGE, LLC IS FREE AND CLEAR OF ALL LIENS AND ENCUMBRANCES (INCLUDING MORTGAGES, DEEDS OF TRUST, JUDGMENTS, EASEMENTS, CONTRACTS AND AGREEMENTS OF RECORD AFFECTING THE REAL PROPERTY IN THIS PLAT), EXCEPT AS SHOWN IN THE TITLE COMMITMENT NO. 2022-01-2 & 2022-01-23 ISSUED BY COMMONWEALTH TITLE COMPANY, HAVING EFFECTIVE DATE: DECEMBER 28, 2021 & JANUARY 4, 2022.

DATED THIS _____ DAY OF _____, A.D. 2024.

COMMONWEALTH TITLE COMPANY OF GARFIELD COUNTY, INC.
127 EAST 5TH STREET
RIFLE, CO 81650

BY: _____
PATRICK P. BURWELL

CLERK AND RECORDER'S CERTIFICATE

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE CLERK AND RECORDER OF GARFIELD COUNTY AT _____ O'CLOCK _____, ON THIS _____ DAY OF _____, 2024, IN RECEPTION NO. _____

CLERK AND RECORDER

BY: _____
DEPUTY

CERTIFICATE OF DEDICATION AND OWNERSHIP

KNOW ALL MEN BY THESE PRESENTS THAT 510 W. MAIN STORAGE, LLC, BEING THE SOLE OWNERS IN FEE SIMPLE OF ALL THAT REAL PROPERTY DESCRIBED AS FOLLOWS:

LOT A AND LOT B AMENDED PLAT OF PARCEL NO. 1 OF THE TERRELL ANNEXATION NO. 1 ACCORDING TO THE PLAT THEREOF RECORDED APRIL 28, 1994 AS RECEPTION NO. 462364, TOGETHER WITH AND SUBJECT TO THE 30 FOOT ROAD AND UTILITY EASEMENT SHOWN ON SAID PLAT.

AND CONTAINING 7.220 ACRES, MORE OR LESS; HAVE BY THESE PRESENTS LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS AND BLOCKS AS SHOWN HEREON AND DESIGNATE THE SAME AS THE LOT LINE DISSOLUTION PLAT OF LOTS A & B, TERRELL ANNEXATION NO. 1 IN THE TOWN OF SILT, COUNTY OF COLORADO, AND DO HEREBY GRANT TO THE TOWN OF SILT, COLORADO, FOR PUBLIC USE THE STREETS SHOWN HEREON INCLUDING AVENUES, DRIVES, COURTS, PLACES AND ALLEYS, THE PUBLIC LANDS SHOWN HEREON FOR THEIR INDICATED PUBLIC USE AND THE UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON FOR UTILITY AND DRAINAGE PURPOSES ONLY; AND DO FURTHER STATE THAT THIS SUBDIVISION SHALL BE SUBJECT TO THE PROTECTIVE COVENANTS FILED AND RECORDED FOR THIS SUBDIVISION IN THE OFFICE OF THE CLERK AND RECORDER OF GARFIELD COUNTY, COLORADO AS RECEPTION NO. _____

EXECUTED THIS _____ DAY OF _____, A.D., 2024.

510 W. MAIN STORAGE, LLC
852 HANDY DRIVE
CARBONDALE, CO 81623

BY: _____
SCOTT DILLARD, MANAGER

STATE OF COLORADO)
COUNTY OF GARFIELD) SS

THE FOREGOING CERTIFICATE OF DEDICATION AND OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, A.D., 2024, BY SCOTT DILLARD AS MANAGER OF 510 W. MAIN STORAGE, LLC.

MY COMMISSION EXPIRES: _____

WITNESS MY HAND AND SEAL

NOTARY PUBLIC

SURVEYOR'S CERTIFICATE

I, RODNEY P. KISER, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR LICENSED UNDER THE LAWS OF THE STATE OF COLORADO, THAT THIS PLAT IS A TRUE, CORRECT AND COMPLETE LOT LINE DISSOLUTION PLAT OF LOTS A & B, TERRELL ANNEXATION NO. 1 AS LAID OUT, PLATTED, DEDICATED AND SHOWN HEREON, THAT SUCH PLAT WAS MADE FROM AN ACCURATE SURVEY OF SAID PROPERTY ON UNDER MY SUPERVISION AND CORRECTLY SHOWS THE LOCATION AND DIMENSIONS OF THE LOTS, EASEMENTS AND STREETS OF SAID SUBDIVISION AS THE SAME ARE STAKED UPON THE GROUND IN COMPLIANCE WITH APPLICABLE REGULATIONS GOVERNING THE SUBDIVISION OF LAND.

RODNEY P. KISER
LICENSED PROFESSIONAL LAND SURVEYOR
COLORADO REGISTRATION NO. 38215



510 W. MAIN STORAGE, LLC
LOT LINE DISSOLUTION PLAT
LOTS A & B - TERREL ANNEXATION NO. 1
COUNTY OF GARFIELD - STATE OF COLORADO



TRUE NORTH COLORADO LLC.
A LAND SURVEYING AND MAPPING COMPANY
P.O. BOX 614 - 386 MAIN STREET UNIT 3
NEW CASTLE, COLORADO 81647
(970) 984-0474
www.truenorthcolorado.com

| | | |
|----------------------|-----------------|-----------------|
| PROJECT NO: 2022-101 | DRAWN RPK | SHEET 1 OF 1 |
| DATE: JULY 5, 2024 | SURVEYED MAN | |

Town of Silt Planning Commission Meeting

August 6, 2024 at 6:30 PM

River Trace- Amended Site Plan Review

Staff Report

| | |
|--|---|
| Name of Project | Lot 2 Site Plan Review River Trace |
| Applicant/Owner | Vista Opportunity Fund Operating LLC PO Box 1307 Gypsum, CO 81637 |
| Owner Representative/ Land Planner | Russ Hatle PO Box 1307 Gypsum, CO 81637 |
| Civil Engineer | Sopris Engineering 502 Main Street, Suite A3 Carbondale, CO 81623 |
| Property Location | 2510 Raven Road Silt, CO 81652 |
| Existing Zoning | PUD |
| Surrounding Land Uses | West – Commercial PUD/Light Industrial North – Vacant Residential South – Railroad /I-70 East – Vacant |
| Surrounding Zoning | North –R2 East – Commercial PUD South – Unincorporated Garfield County West – Commercial PUD |
| Proposed Use | Original Proposed Use – 96 Multifamily Units and Community Building Revised Proposed Use - 95 Multifamily Units and Community Building |
| Area of Parcel Subject to application | 5.91 Acres |
| Existing Use | Vacant |
| Silt Comprehensive Plan | Service and Commercial Support |
| Parcel & Reception Numbers | 217911105002 |
| Legal Description | Section: 11 Township: 6 Range: 92 Subdivision: VILLAGE AT PAINTED PASTURES MINOR SUB Lot: 2 AS PER FINAL PLAT RECEPTION NO. 947086 (5.905 ACRES±) |

I. Description of Request

Original Request: *The Village at Painted Pastures is a 3-lot minor subdivision which is zoned PUD. This particular request is for Lot 2 only. This is a request for Site Plan approval for 9 multifamily buildings with*

a total of 96 rental units and a community building. The owner/applicant intends to move forward as quickly as possible and obtain building permits. They are hoping to build the units over the next year or so. Generally, the lot will be developed from west to east and while construction on the site is contended to be rapid, it will be phased to some degree to accommodate construction, utility work and extensions etc. The park System for the Village will be phased per Town request so that parkland/Trails and play areas will be provided on a proportional basis with the completion of the buildings and general areas on Lot 2 so that the development will comply with Town Parkland Requirements contained in section 16.04.530 of the SMC. A summary of the number of units in each of the buildings on the subject lot is provided below.

| | |
|--------------------------|---|
| <i>Building 1</i> | <i>(12) Two Bedroom Units</i> |
| <i>Building 2</i> | <i>(12) Two Bedroom Units</i> |
| <i>Building 3</i> | <i>(4) Two Bedroom Units and (8) Loft Units</i> |
| <i>Building 4</i> | <i>(8) One Bedroom Units</i> |
| <i>Building 5</i> | <i>(8) One Bedroom Units</i> |
| <i>Building 6</i> | <i>(8) One Bedroom Units</i> |
| <i>Building 7</i> | <i>(12) Two Bedroom Units</i> |
| <i>Building 8</i> | <i>(4) Two Bedroom Units and (8) Loft Units</i> |
| <u><i>building 9</i></u> | <u><i>(12) One-bedroom units</i></u> |
| <i>Totals</i> | <i>(16) Loft Units</i> |
| | <i>(36) One Bedroom Units</i> |
| | <i>(44) Two Bedroom Units</i> |
| | <i>(96) Units Total</i> |

There is no proposal at this time to further subdivide Lot 2. There is now separate ownership on Lot 2 from the other 2 lots in the subdivision though it is a related entity to the original applicant/owner for the subdivision.

You previously saw an application for Site Plan review for Lots 2 and 3 this past fall. Please be aware that Lot 3 is not part of this site plan application. The previous site plan application had the same general layout and the same general circulation pattern and park system with the exception that the northwest quadrant of the lot was proposed for future commercial development. The PUD zoning allows the owner to develop this lot as multifamily residential land use only. Commercial is still intended for Lot 1 and it is zoned for commercial (nonresidential uses) development.

In addition to the location map for Lot 2, I am including the current site plan for the project as well as the architectural site plan from the previous site plan application and the Park Phasing Plan which shows both the residential/park development and how it will be phased in. The zoning map is also attached.

Amended Request:

1. Addition of 8 parking spaces. The attached Exhibit sets forth the location of the added parking spaces as well as additional snow storage offsetting the additional paved area.
2. Location of Shade Structure. The location of a concrete or gravel pad and 12' X 12' shade structure adjacent to the Community Center Building at 2510 Raven Road. The shade structure is called out on the landscape phasing plan which is an Exhibit to the recorded Subdivision Improvement Agreement, but its location is not shown on that Exhibit.
3. Optional location for Children's Play Equipment. The Owner has requested the option, to be executed by Owner, to install the proposed Children's Play Equipment in either the Easternmost Park-Play Area as is shown on the landscape phasing plan which is an Exhibit to the recorded Subdivision Improvement Agreement, or in the alternate, to locate it in the Park-Play Area at the intersection of River Trace Road and South Overo Blvd. The alternate location is closer to the Community Building and to the two-bedroom apartment units where children are likely to be domiciled and is ready for the installation immediately. The eastern park area, as is shown in the recorded Subdivision Improvement Agreement, will be the last Phase constructed in late 2025.
4. Building Changes
 - a. **Building C**
 - Originally approved for 8,776 Gross Square feet and 12 residential units
 - Re-sited as 5,707 Gross Square feet and 8 residential units
 - Reduction of 4 units and reduction of 3,069 gross square feet of building area.
 - b. **Building D**
 - No change just a minor adjustment to placement to accommodate Building C, lot set back lines and easements.
 - c. **Building E**
 - Originally approved for 8,776 Gross Square Feet and 12 residential units
 - Re-sited as 10,534 Square Feet and 15 residential Units
 - Increase of 3 units and increase of 1,974 gross square feet

Net Changes decrease from 96 units to 95 units and decrease the gross square footage by 1,096 Square Feet.

There is no encroachment on property lines, building setbacks or any variance from the PUD zoning for the site.

The resulting change decreases the number of units, the square feet of building footprints and increases the park and open space adjacent to building E, combined with the addition of 8 parking spaces to the total site.

II. The Property

This property is on the far east side of Town, south of the Painted Pastures Subdivision and adjacent to Highway 6, south of the roundabout.



III. Project History as Per Previous Staff Report

The entire Village property comprises a total of 11.224 acres. It was originally composed of 2 parcels at the east end of Town on the south side of Highway 6 and 24. The property has been going through the land use entitlement process for the last year. It has been annexed, zoned and subdivided into 3 separate lots. Approvals and applications are outlined below:

- *Annexation. The property was annexed by adoption of Ordinance No. 3- 2020 on May 26, 2020.*

- *Zoning. PUD zoning was approved via Ordinance 4 – series of 2020 on May 26, 2020.*
- *Minor Subdivision. The property was subdivided through the Minor Subdivision process with approval of the Subdivision plat – Resolution No. 18- 2020 on November 9, 2020*
- *Site Plan Approval for phase 1 – Lots 2 and 3 on October 6, 2020*

A site plan for Phase 1 of the property was to include 104 residential units and 11 buildings. This plan included Lots 2 and 3. As noted before, there was a conceptual commercial component in the northwest quadrant of Lot 2. At this time, there is no specific site plan adjustment for Lot 3. Without looking in detail at the approvals, I am not sure if the previously approved site plan for Lot 3 would still be in effect once/if this application is approved.

Status of activity at Village

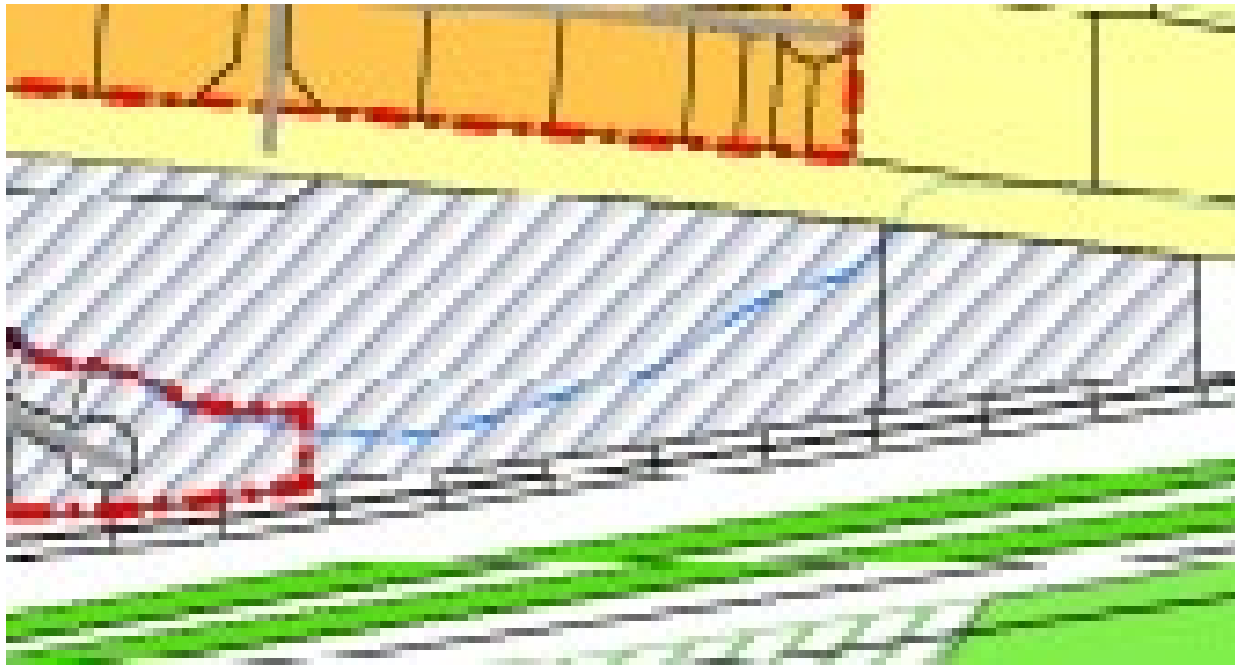
I'm sure you are all aware that there has been some construction activity related to this subdivision for quite some time. Construction on the roundabout on 6 and 24 started earlier this year. Recently, more activity on the site has been occurring with the initiation of construction of irrigation ditch infrastructure, stormwater collection, piping being installed under the Cactus Valley ditch and an irrigation pump station being constructed in the South east corner of Lot 1. All this activity has been undertaken with the review and approval of the Town Engineer and Public Works. Plans have been reviewed and approved and financial security per Town Code is in place. Therefore, construction activity will continue to occur on site assuming approval of the site plan for Lot 2.

Relationship to Previous Site Plan

The current site plan submittal is very similar to the original Phase I site plan with the exception that it is all residential in nature with the exception of the Community Building. Your previous review including discussion and determination of whether the property was in compliance with the Comprehensive Plan and other sections of the Silt Municipal Code in including Special Use Permit and site planning review standards, multifamily building designs, landscape guidelines, grading, pedestrian crossings etc. You previously made findings that stated that the project was in general compliance with the standards and was a good project for the Town. I am not trying to re- review and change that previous approval. My main concern is that I want to make sure that all sections and procedures of the Town Code are being followed, that no conditions from some of the previous approvals have fallen through the cracks, that any additional requirements are logical from town code standpoint and that all fees and approvals are in order. I say this because the previous approvals included requests to design or approve various items at later stages in the process and that many the fees be paid at the time of building permit per final site plan approval. I am still reviewing all sections of these items in the municipal code but have them in order for this report.

For the record, I'm going to recite and note the various sections of the Town Code that you reviewed before with the Phase 1 site plan for Lots 2 and 3 and ultimately found that that plan complied with the applicable town standards. My comments here are minimal but will make them as appropriate.

IV. *Silt Comprehensive Plan*



Comprehensive Plan - Future Land Use 2017: Town of Silt, CO



0 250 500 1,000 1,500 2,000 2,500 3,000 Feet

| | | |
|--|---|--------------------------------|
| Agricultural/Rural Residential Reserve | Natural Resource Extraction/Future Public Quasi-Public Parks & Open Space | Recreation Commercial |
| Downtown | Neighborhood Residential | Service and Commercial Support |
| Mixed Use/Neighborhood Center | Public/Quasi Public Parks & Open Space | Walkable Residential |

The original Staff Report for the site plan on Lots 2 and 3, included an analysis and comments on the following Silt Comprehensive Plan components:

- Future Land Use Designation – Service and Commercial Support
- Reference and Comment on Land Use and Growth of the Town component
- Reference and Comment on Housing Component

Quick summary – Planners report and Planning Commission found that the project met the goals and policies of the Silt Comprehensive Plan, based on the PUD zoning. Without repeating the same detail, staff also finds these proposed changes to be in compliance with the Silt Comprehensive Plan.

| Land Use Designation | Description/Characteristics | Locational Criteria |
|---|---|--|
| <p>Service and Commercial Support Zone Districts: B-1, B-2 and B-3 Create new Industrial Zone District</p> | <p>Those properties within the Comprehensive Plan Land Use Designation of “Service and Commercial Support” are outside of the Town’s Downtown area, but are expected to have good visibility from Main Street and/or the I-70 corridor. The “Service and Commercial Support” designation is not expected to extend more than two blocks north of Highway 6. For this reason, it is appropriate to expect that these properties will provide the Town with solid retail and service commercial businesses, such as construction related businesses like supply companies, office-type businesses such as real estate offices, craftsmen-type businesses such as cabinet makers, and other services such as auto repair and small appliance repair, hotels, and convenience stores. These properties should look inviting and aesthetically professional, and the structures should have a western appeal or theme if possible. This area is crucial for the Town’s employment picture, providing local jobs within the core of the community, and keeping the residents close to enjoy the time not spent working with their families and friends. While retail businesses may not be the main focus in the “Service and Commercial Support” area, it is important for the Town to encourage any business that provides clean commercial without air pollution, noise, undesired odor, vibration or wasted resources. As the Town and/or businesses grow(s), this Comprehensive Plan Land Use Designation will have to shrink in order to accommodate a larger “Downtown” area.</p> <p>The Town should carefully scrutinize marijuana applications in this land use designation.</p> | <p>Along the railroad I-70 corridor (extending west of Ukele) and north and south of the river thereby limiting traffic impacts on residential areas. Service and Commercial Support sites should have adequate access to one or more major arterial and highway access capable of handling heavy truck traffic.</p> <p>Industrial uses have access to major highways through the Town’s arterial street system with minimal travel through other less intense land uses.</p> <p>Compatibility with nearby land uses and proximity to other industries are relevant criteria for siting industrial uses.</p> |

V. *Applicable Zoning*

The PUD Zoning for Village at Painting Pastures allows for a mix of commercial, office, service and other uses throughout the entire PUD. There is a Residential Overlay district on Lots 2 and 3 which allow for flexible multifamily residential and/or commercial uses on the site. It also allows residential above ground floor commercial uses. The Site Plan for Lot 2 is in conformance with the PUD Zoning Guide approved by the Town.

VI. *Review Agency Comments*

Town Engineer — The Town Engineer will continue to work with the applicants engineer, to ensure that all necessary items are addressed, prior to permitting Buildings C and E.

Town Attorney – The Town Attorney recommended that those proposed changes be brought to the Planning and Zoning Commission for new approvals.

Public works – The Silt Public Works Director was provided the application and there are no additional comments at this time.

VII. *Planner Recommendation:*

Overall, staff does not see the proposed changes negatively impacting the project or adjacent properties.

Staff recommends **APPROVAL** for the Amended Site Plan Review for River Trace with the following conditions:

1. That all representations of the application, made in writing, application materials and verbally at the Planning Commission meeting or that are reflected in the meeting minutes are considered part of the application and are binding on the applicant.
2. That the applicant shall work in good faith, with the Town Engineer, to resolve issues identified in the review redlines to the satisfaction of the Town Engineer and Staff, prior permitting or building any amended improvements on the property.
3. That any previous conditions of approval are still relevant and required, unless otherwise specified in this amendment.
4. That all outstanding balances be paid in full, to the Town of Silt, prior to the issuance of the building permit.

Recommended Motion:

I move to approve the Amended Site Plan for River Trace and Resolution PZ-10, Series of 2024, with the conditions written in the staff report and spoken during this meeting.

**TOWN OF SILT
RESOLUTION NO. PZ- 10
SERIES OF 2024**

**A RESOLUTION OF THE PLANNING AND ZONING COMMISSION
APPROVING THE AMENDMENT OF SITE PLAN REVIEW FOR RIVER
TRACE, AT 2510 RAVEN ROAD, WITHIN THE TOWN OF SILT, GARFIELD
COUNTY, STATE OF COLORADO**

WHEREAS, River Trace submitted an application to amend a Site Plan Review (“Application”) on or about July 18, 2024, with regards to changes in building occupancy for buildings C and E, as well as adding additional parking, installing a shade structure and moving the playground at 2510 Raven Road; and

WHEREAS, the legal description is Section: 11 Township: 6 Range: 92 Subdivision: VILLAGE AT PAINTED PASTURES MINOR SUB Lot: 2 AS PER FINAL PLAT RECEPTION NO. 947086 (5.905 ACRES±)

WHEREAS, Town Staff processed the application and forwarded the application as well as staff comments about the application and various memoranda to the Town Planning and Zoning Commission (“Commission”); and

WHEREAS, the commission reviewed and discussed the application at its regular meeting on August 6, 2024; and

WHEREAS, upon proper consideration there is a finding that it is reasonable to approve the proposed amendments, as it aligns with the PUD Zoning and does not appear to have any significant negative impact to adjacent properties; and

NOW, THEREFORE BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF SILT, COLORADO, THAT: the Amended Site Plan Review for a River Trace at 2510 Raven Road, within the Town of Silt, Colorado (“Town”), be approved, subject to the following conditions:

1. That all representations of the application, made in writing, application materials and verbally at the Planning Commission meeting or that are reflected in the meeting minutes are considered part of the application and are binding on the applicant.
2. That the applicant shall work in good faith, with the Town Engineer, to resolve issues identified in the review redlines to the satisfaction of the Town Engineer and Staff, prior permitting or building any amended improvements on the property.

3. That any previous conditions of approval are still relevant and required, unless otherwise specified in this amendment.
4. That all outstanding balances be paid in full, to the Town of Silt, prior to the issuance of the building permit.

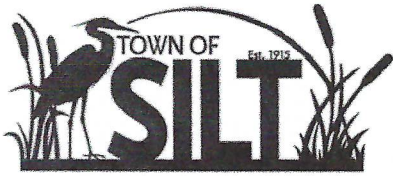
INTRODUCED, READ AND APPROVED at a regular meeting of the Planning and Zoning Commission of the Town of Silt, Colorado held on the 6th day of August, 2024.

ATTEST:

TOWN OF SILT

Chair Lindsey Williams

Community Development Manager, Nicole Centeno



Community Development Department
231 N. 7th Street, Silt, CO 81652
(970) 876-2353 (office) (970) 876-2937 (fax)
www.TownOfSilt.org

Land Use Application Form

| | | |
|---|--|---|
| <input type="checkbox"/> Amended Plat | <input type="checkbox"/> Boundary Adjustment | <input type="checkbox"/> Subdivision Exemption |
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Sketch Plan | <input type="checkbox"/> Floodplain Development |
| <input type="checkbox"/> Final Plan | <input type="checkbox"/> Planned Unit Development | <input type="checkbox"/> Vacation of Right-of-Way |
| <input type="checkbox"/> Text Amendment | <input type="checkbox"/> Site Plan Review | <input type="checkbox"/> Metro District or Special District |
| <input type="checkbox"/> Easement Agreement | <input type="checkbox"/> Zoning or Rezoning | <input type="checkbox"/> Subdivision Improvement Agreement |
| <input type="checkbox"/> Preliminary Plan | <input type="checkbox"/> Special Use Permit | <input type="checkbox"/> ADA or ADA Amendment |
| <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Intergovernmental Agreement | <input type="checkbox"/> Other: _____ |

Project Name: RIVER TRACE Project Description: ADD 8 PARKING SPACES - RE-LOCATE PLAY EQUIPMENT
Owner's Name: VISTA OPERATING LLC Owner's Number: 714-988-2815 Owner's Email Address: RUBEN@VISTAINFORMIS.COM

Address: 2510 RIVER TRACE RD Parcel ID Number: _____

Legal Description (attach additional sheets if necessary): LOT 2, THE VILLAGE AT PRINTED PROSPERS PLAT

Access to Property: VIA OVERPASS ROUNDABOUT AND HIGHWAY 6

Acreage or Square Footage: 6 ACRES Existing Land Use Designation: PUD

Proposed Land Use Designation: PUD

Existing Zoning: PUD Proposed Zoning: PUD

Proposed Use / Intensity of Use: 95 MULTI-FAMILY UNITS

Submittal Requirements:

- A completed original application with original signatures and two copies (2 full sets) shall be submitted to the department for review. The application shall include two sets of 24" x 36" plans, plats and other appropriate drawings. Full application must also be submitted in electronic format.
- In addition to this application, all information on the supplemental checklist must be submitted.
- Incomplete applications will not be accepted and will delay processing.
- When the documents are deemed adequate, additional copies as required by the department shall be submitted no less than ten (10) days before the public hearing.
- All documents submitted for Land Use Applications shall be collated and paper-clipped (no staples). All plans, plats or drawings shall be organized and submitted ready for review, to avoid delays in processing. Fees and Deposits are collected at the time of submittal.

STAFF USE ONLY

| | |
|------------------------------------|----------------------------|
| Pre-app conference: _____ (date) | Fees: _____ |
| Application Received: _____ (date) | Deposits: _____ |
| PZC approval: _____ (date) | Date Fees Collected: _____ |
| BOT approval: _____ (date) | |

RECEIVED JUL 18 2024

Disclosure of Property Ownership

- _____ If owner is an individual, indicate name exactly as it appears on the deed.
- ☒ If owner is a corporation, partnership, limited partnership or other business entity, name principals on a separate page. Please include articles of organization, partnership agreement, etc., as applicable.
- _____ If owner is a land trust, name beneficiaries on a separate page.
- _____ If applicant is a lessee, indicate the owner(s) on a separate page.
- _____ If applicant is a contract purchaser, attach a copy of the contract and indicate the owner(s) on a separate page.

Please provide the name(s), mailing address(es), street address(es) and phone number(s) for all owners.

Property Owner Affidavit

I/We, Rob E. Haze, being first duly sworn, depose and state under penalties of perjury that I am (we are) the owner(s) of the property described herein and which is the subject of the application and proposed hearings; that all answers provided to the questions in this application, and all sketches, data and all other supplementary matter attached hereto and made part of this application are honest and true to the best of my (our) knowledge and belief. I (we) understand that this application must be complete and accurate prior to a hearing being scheduled. I (we) authorize Town staff to visit the site as necessary for proper review of this application.

(If there are special conditions such as guard dogs, locked gates, restricted hours, etc., please give the name and phone number of the person(s) who can provide access to the site)

Name (printed)

Name (printed)

Address

Address

Phone

Phone

Fax

Fax

☒ Rob E. Haze
Signature

Signature

Type of Identification

County of Eagle

State of CO.

ss.

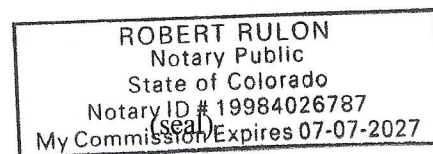
Sworn to and subscribed before me this 10th day of July, 2024.
(fill in day) (fill in month) (fill in year)

By Robert Rulon
(name printed)

Witness my hand and official seal.

Notary Public Robert Rulon

My Commission expires: 7/7/2027



Billable Party Agreement

Property Owner(s): Name: RUSS HATLE Phone: 714-883-2815
Company: VISTA COMMUNITY FUND OPERATING, LLC Fax: NONE
Address: P.O. Box 1307, GYDSUM CO 81637
Authorized Rep.: Name: RUSS E. HATLE Phone: 714-883-2815
Company: SAME AS ABOVE Fax: _____
Address: SAME AS ABOVE
Billable Party: Owner X Representative _____

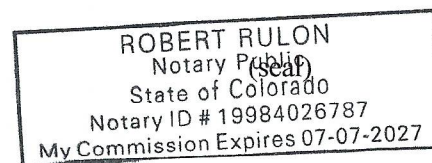
The Billable Party, by signing below, hereby agrees to reimburse the Town the actual costs to the Town plus 15% administrative fees for all billable staff time and contract services, including, but not limited to, planning, reviewing, inspecting, engineering, surveying and legal services rendered in connection with the applicant's request. A deposit will be required if deemed necessary by Town Staff. The Billable Party shall also reimburse the Town for the cost of making any corrections or additions to the master copy of the official Town map and for any fees for recording any plats and accompanying documents with the County Clerk and Recorder of Garfield County. The Billable Party agrees that interest shall be imposed at a rate of 5% per month on all balances not paid within thirty (30) days of the date of the statement. In addition to any and all remedies available to the Town and in the event the Town is forced to pursue collection of any amounts due and unpaid, the Town shall be entitled to collect attorney's fees and costs incurred in said collection efforts in addition to the amount due and unpaid.

Name (printed): RUSS E HATLE
Address: P.O. Box 1307 GYDSUM CO 81637
Phone: 714 883 2815 Email: RUSSH@IMPRESSADVISORS, LLC
Type of Identification: _____ Identification Number & Expiration: _____
Signature: [Signature] Date: 7/18/24
County of EAGLE)
State of CO.) §

Sworn to and subscribed before me this 18th day of JULY, 2024
(Day) (Month) (Year)

By Robert Rulon Witness my hand and official seal [Signature]
(Notary Name) (Notary Signature)

Notary Public
My Commission Expires 7/7/2027



Authorized Representative

I/We further permit Russ E. HATLE to act as my/our representative in any manner regarding this application, to answer any questions and to represent me/us at any meeting(s) and public hearing(s) which may be held on this application.

NOTE: All correspondence will be sent to the authorized representative. It will be the representative's responsibility to keep the owner(s) adequately informed as to the status of the application.

Russ E. HATLE
Name (printed)

P.O. Box 1307 EAGLE CO 81637
Address

714.883-2815
Phone

N/A
Fax

[Signature]
Signature

Type of Identification

County of EAGLE)

State of CO.)

ss.

Sworn to and subscribed before me this 18th day of July, 2024.
(fill in day) (fill in month) (fill in year)

By Robert Rulon
(name printed)

Witness my hand and official seal.

Robert Rulon
Notary Public

My Commission expires: 7/7/2027

ROBERT RULON
Notary Public
State of Colorado
Notary ID # 19984026787
My Commission Expires 07-07-2027

River Trace

Lot 2, The Village at Painted Pastures

Site Plan Modification

The proposed modifications to the approved Site Plan are as follow;

1. **Addition of 8 parking spaces.** The attached Exhibit sets forth the location of the added parking spaces as well as additional snow storage offsetting the additional paved area.
2. **Location of Shade Structure.** The location of a concrete or gravel pad and 12' X 12' shade structure adjacent to the Community Center Building at 2510 Raven Road. The shade structure is called out on the landscape phasing plan which is an Exhibit to the recorded Subdivision Improvement Agreement, but its location is not shown on that Exhibit.
3. **Optional location for Children's Play Equipment.** The Owner has requested the option, to be executed by Owner, to install the proposed Children's Play Equipment in either the Easternmost Park-Play Area as is shown on the landscape phasing plan which is an Exhibit to the recorded Subdivision Improvement Agreement, or in the alternate, to locate it in the Park-Play Area at the intersection of River Trace Road and South Overo Blvd . The alternate location is closer to the Community Building and to the two-bedroom apartment units where children are likely to be domiciled and is ready for the installation immediately. The eastern park area, as is shown in the recorded Subdivision Improvement Agreement will be the last Phase constructed in late 2025.

Exhibits attached;

Site Plan depicting proposed changes.

Landscape Phasing Exhibit from the recorded Subdivision Improvement Agreement

RECEIVED JUL 18 2024

River Trace

Site Plan Revisions – Buildings C, D and E

The following changes have been made to accommodate more open space and continuity of relationship of unit types.

Building C

- Originally approved for 8,776 Gross Square feet and 12 residential units
- Re-sited as 5,707 Gross Square feet and 8 residential units
 - Reduction of 4 units and reduction of 3,069 gross square feet of building area.

Building D

- No change save a minor adjustment to placement to accommodate Building C, lot and set back lines and easements.

Building E

- Originally approved for 8,776 Gross Square Feet and 12 residential units
- Re-sited as 10,534 Square Feet and 15 residential Units
 - Increase of 3 units and increase of 1,974 gross square feet

Net Changes

Decrease from 96 units to 95 units

Decrease of 1,096 Square Feet of Gross Building area

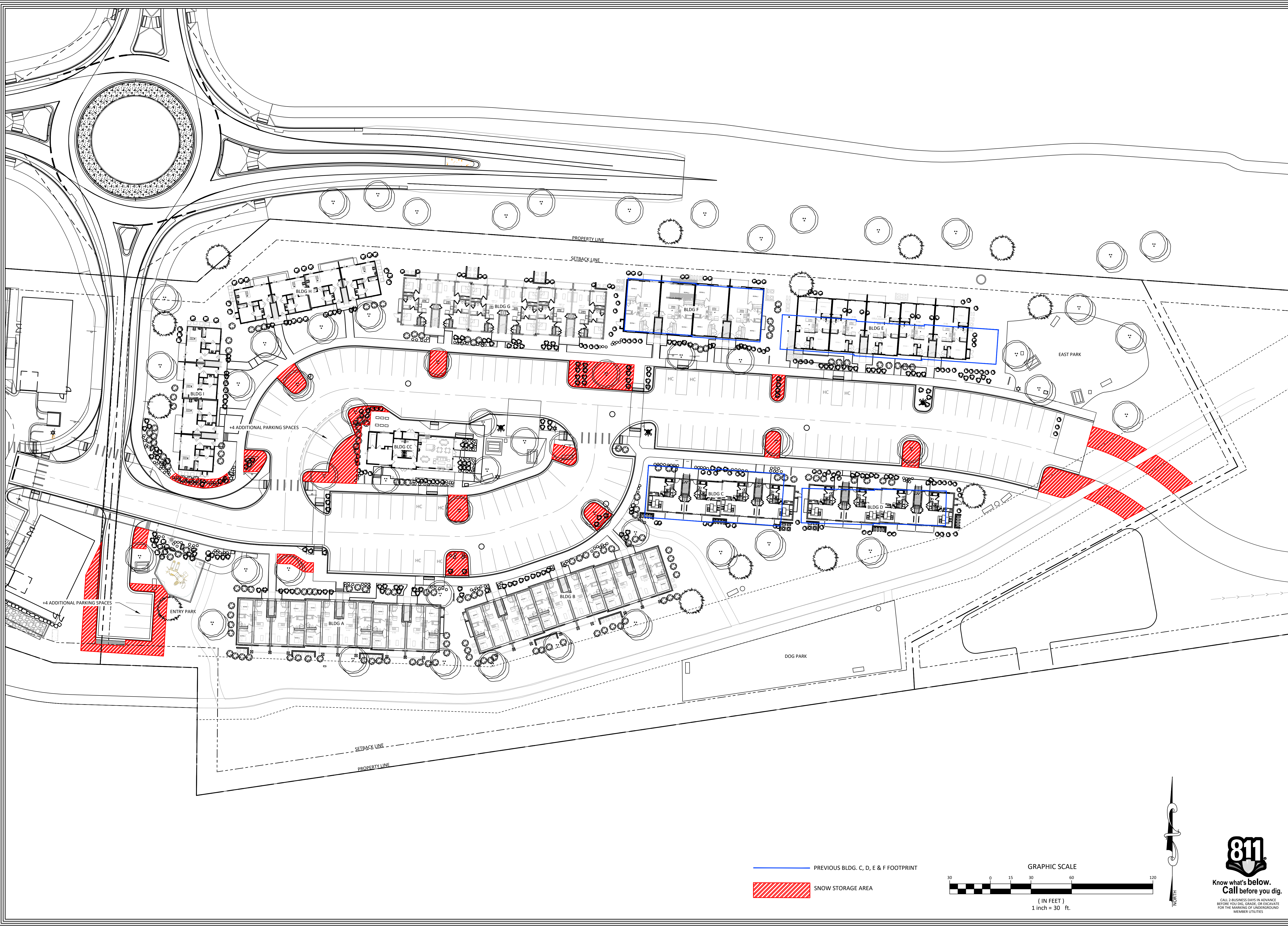
There is no encroachment on property lines, building setbacks or any variance from the PUD zoning for the site.

The resulting change decreases the number of units, the square feet of building footprints and increases the park and open space adjacent to building E, combined with the addition of 8 parking spaces to the total site.

Addressing for River Trace at BelleVista

4/28/24

| | | | | |
|--|----------|------------------|-----------------|------------------------------------|
| Leasing Office/Community Center Building | | | 2510 Raven Road | |
| Building A | 12 units | 2505 Raven Road | Unit #'s | 101 through 106 201 through 206 |
| Building B | 12 units | 2545 Raven Road | Unit #'s | 101 through 106 201 through 206 |
| Building C | 8 units | 2585 River Trace | Unit #'s | 101 through 104 201 through 204 |
| Building D | 8 units | 2625 River Trace | Unit #'s | 101 through 104 201 through 204 |
| Building E | 15 units | 2600 River Trace | Unit #'s | 101 through 105 201 through 210 |
| Building F | 12 units | 2560 River Trace | Unit #'s | 101 through 104 201 through 208 |
| Building G | 12 units | 2520 River Trace | Unit #'s | 101 through 106 201 through 206 |
| Building H | 8 units | 2480 River Trace | Unit #'s | 101 through 104 201 through 204 |
| Building I | 8 units | 2440 River Trace | Unit #'s | 101 through 104 201 through 204 |
| Pump Station | | 2330 Raven Road | | |



| | |
|-------------|--------------|
| DATE: | 06/28/2024 |
| JOB NO. | 31234 |
| DESIGNED BY | XXX 00/00/00 |
| DRAWN BY | XXX 00/00/00 |
| CHECKED BY | XXX 00/00/00 |

RIVER TRACE SUBDIVISION - LOT 2
TOWN OF SILT, COLORADO

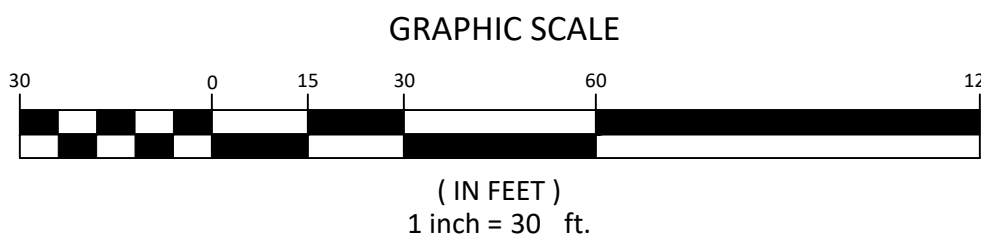
EXHIBIT

REGIONAL
STAMP

| DATE | REVISION |
|----------|----------|
| 00/00/00 | XXX |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

| | |
|-------------|-------------------------------------|
| TITLE | PLANNING COMMISSION SITE PLAN |
| DRAWING NO. | C-0.0 |

PREVIOUS BLDG. C, D, E & F FOOTPRINT
SNOW STORAGE AREA



G:\2023\131234-511 LOT 2\CONV.CM.DWG\131234-C2-D-GRADING-UPDATED.DWG - Apr 25, 2024 - 11:35am

